




Proposed indicative artist impression of housing streetscape. All landscae features are indicative only. Refer to landscape consultants documentation package for landscape design & plant species selection.



Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name


Accreditation No.

Property Address

Claude-Francois Sookloll

DMN/14/1662

7A-092, Lot 7A-092 (#56)
Prescot Parade MILPERRA
2214, NSW, 2214



<https://www.frs.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>

RIVERLANDS SITE 7A

STAGE 1 - SITE 7A
LOTS: 7A-081 - 7A-152

SHEET No.	DRAWING TITLE	REVISION
000	COVER SHEET	B
050	LOCALITY & SITE ANALYSIS PLAN	B
100	SUBDIVISION PLAN	B
101	LOT LAYOUT AND SITING	B
110	EROSION & SEDIMENT CONTROL PLAN	B
120	HYDRAULIC CONCEPT PLAN	B
210	GROUND FLOOR PLAN	B
220	FIRST FLOOR PLAN	B
250	ROOF / FIRE RATED EAVES PLAN	B
260	ELEVATIONS LOTS 081 -092	B
261	ELEVATIONS LOTS 101 - 112	B
262	ELEVATIONS LOTS 121 - 132	B
263	ELEVATIONS LOTS 141 - 142	B
264	ELEVATIONS LOTS 151 - 152	B
268	COLOURED STREETSCAPE	B
270	SECTIONS	B
271	SECTIONS	B
272	SECTIONS	B
290	NEIGHBOURING NOTIFICATION PLANS	B
291	NEIGHBOURING NOTIFICATION PLANS	B
292	NEIGHBOURING NOTIFICATION PLANS	B
401	SHADOW PLAN 22 SEPT - 9AM	B
402	SHADOW PLAN 22 SEPT - 12NOON	B
403	SHADOW PLAN 22 SEPT - 3PM	B
404	SHADOW ANALYSIS	B
410	SUN EYE VIEWS - 21 JUNE - 8am - 9am	B
411	SUN EYE VIEWS - 21 JUNE - 10am - 11am	B
412	SUN EYE VIEWS - 21 JUNE - 12pm - 1pm	B
413	SUN EYE VIEWS - 21 JUNE - 2pm - 3pm	B
414	SUN EYE VIEWS - 21 JUNE - 4pm	B
420	PRIVATE OPEN SPACE AND PERMEABLE AREA PLAN	B
430	FSR / GFA AREA PLANS GROUND FLOOR	B
431	FSR / GFA AREA PLANS FIRST FLOOR	B
720	BASIX REQUIREMENTS	B
721	BASIX REQUIREMENTS	B
800	TYPICAL DETAILS	B



1 ESTATE PLAN

0mm 10mm

100mm

200mm

300mm

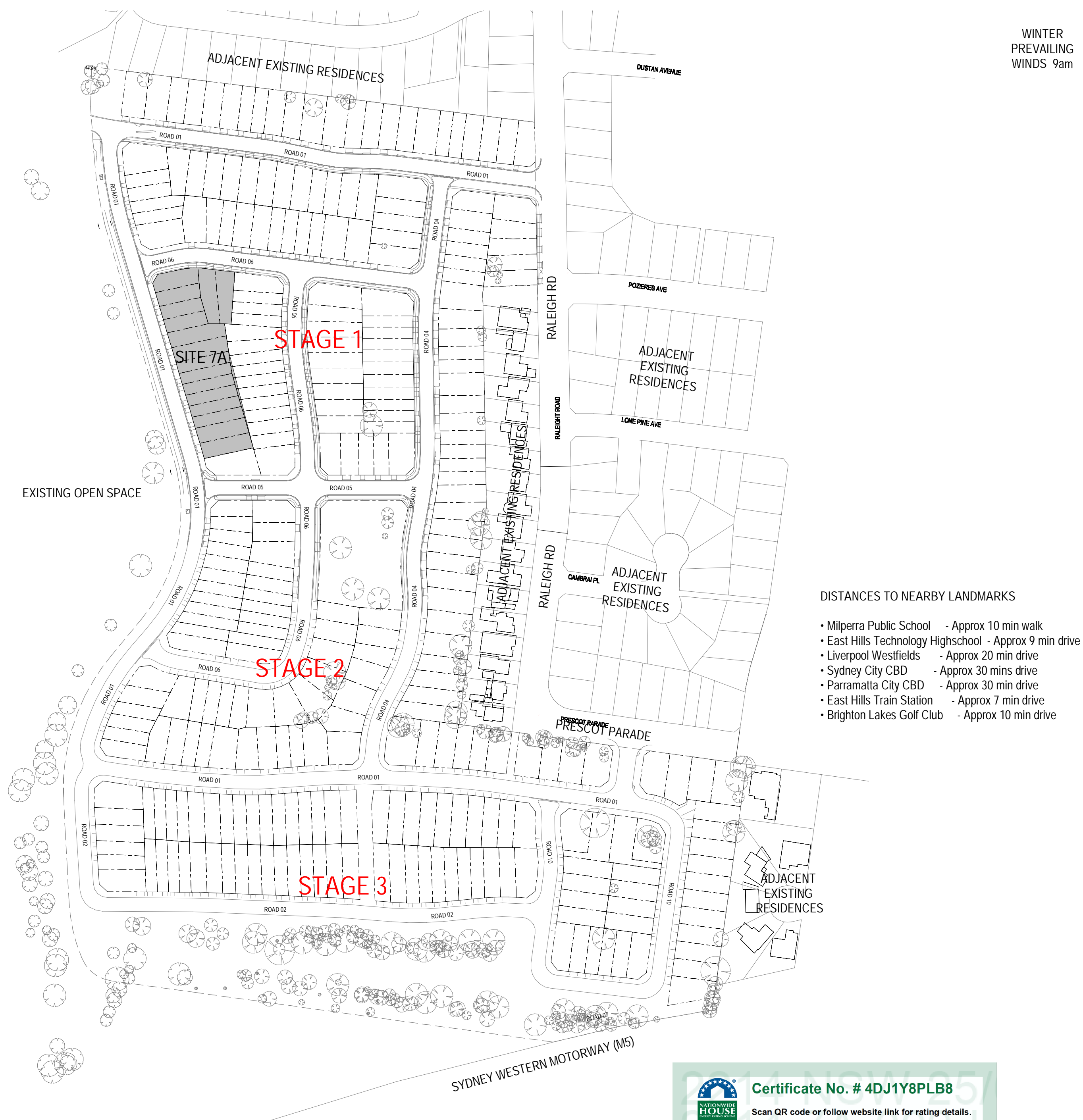
100mm

200mm

300mm

1 LOCALITY PLAN

1:2000



WINTER
PREVAILING
WINDS 9am

DISTANCES TO NEARBY LANDMARKS

- Milperra Public School - Approx 10 min walk
- East Hills Technology Highschool - Approx 9 min drive
- Liverpool Westfields - Approx 20 min drive
- Sydney City CBD - Approx 30 mins drive
- Parramatta City CBD - Approx 30 min drive
- East Hills Train Station - Approx 7 min drive
- Brighton Lakes Golf Club - Approx 10 min drive



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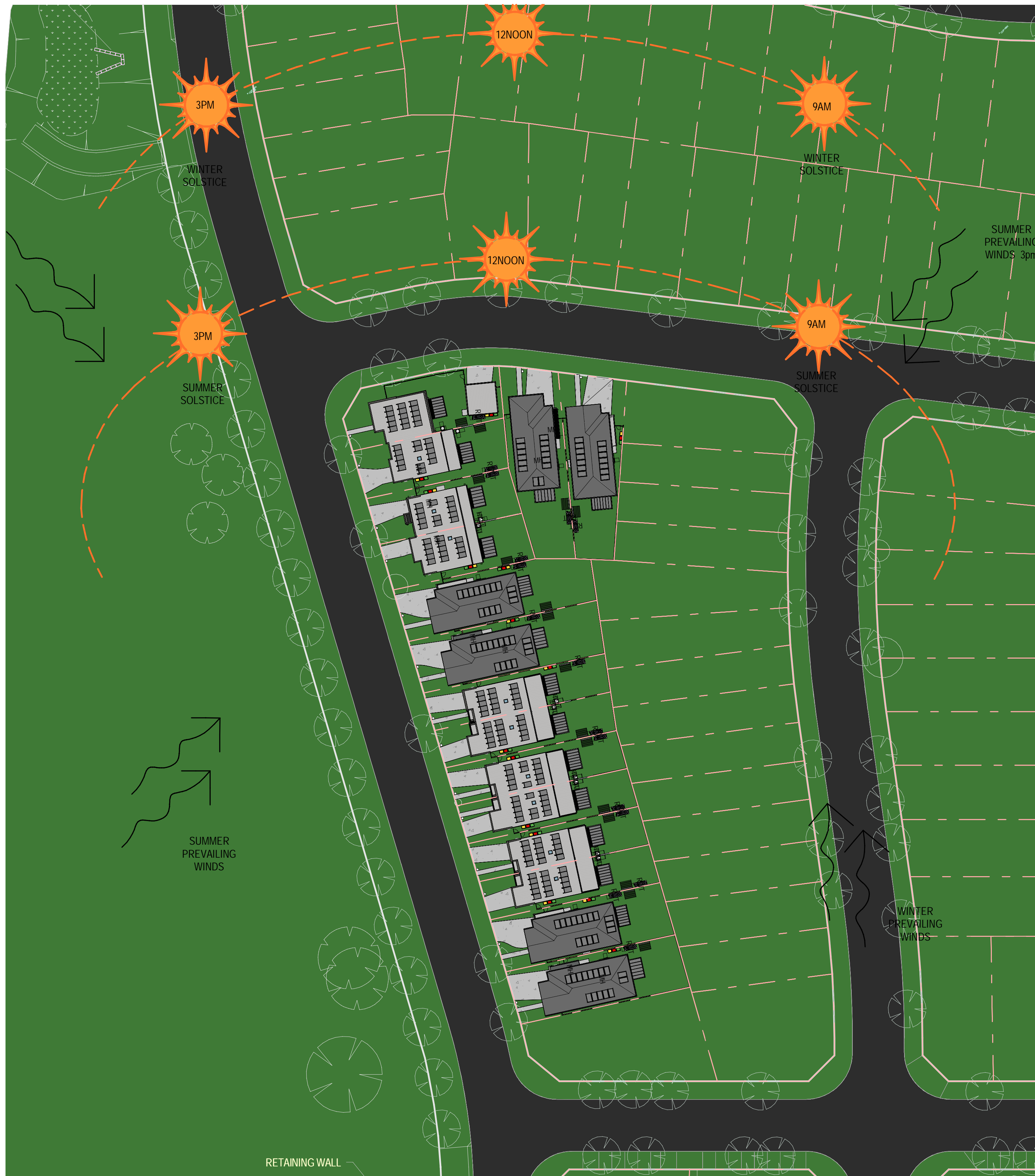
Assessor name Claude-Francois Sookloll
Accreditation No. DMN/14/1662
Property Address 7A-092, Lot 7A-092 (#56)
Prescot Parade MILPERRA,
2214, NSW, 2214



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2 SITE ANALYSIS

1:500



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client:
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

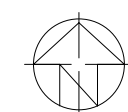
title:
LOCALITY & SITE ANALYSIS PLAN

job no: MB-10245
drawing no: 050

date: 28.02.25

scale @ A1: As indicated

rev: B




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1 SUBDIVISION PLAN


NOTE:

- VEHICLE CROSSINGS SHOWN ARE INDICATIVE ONLY. PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATIONS AND DIMENSIONS.
- REFER TO CIVIL ENGINEERING SET ADDITIONAL INFORMATION ON BOUNDARIES AND LOT LAYOUT

**Certificate No. # 4DJ1Y8PLB8**

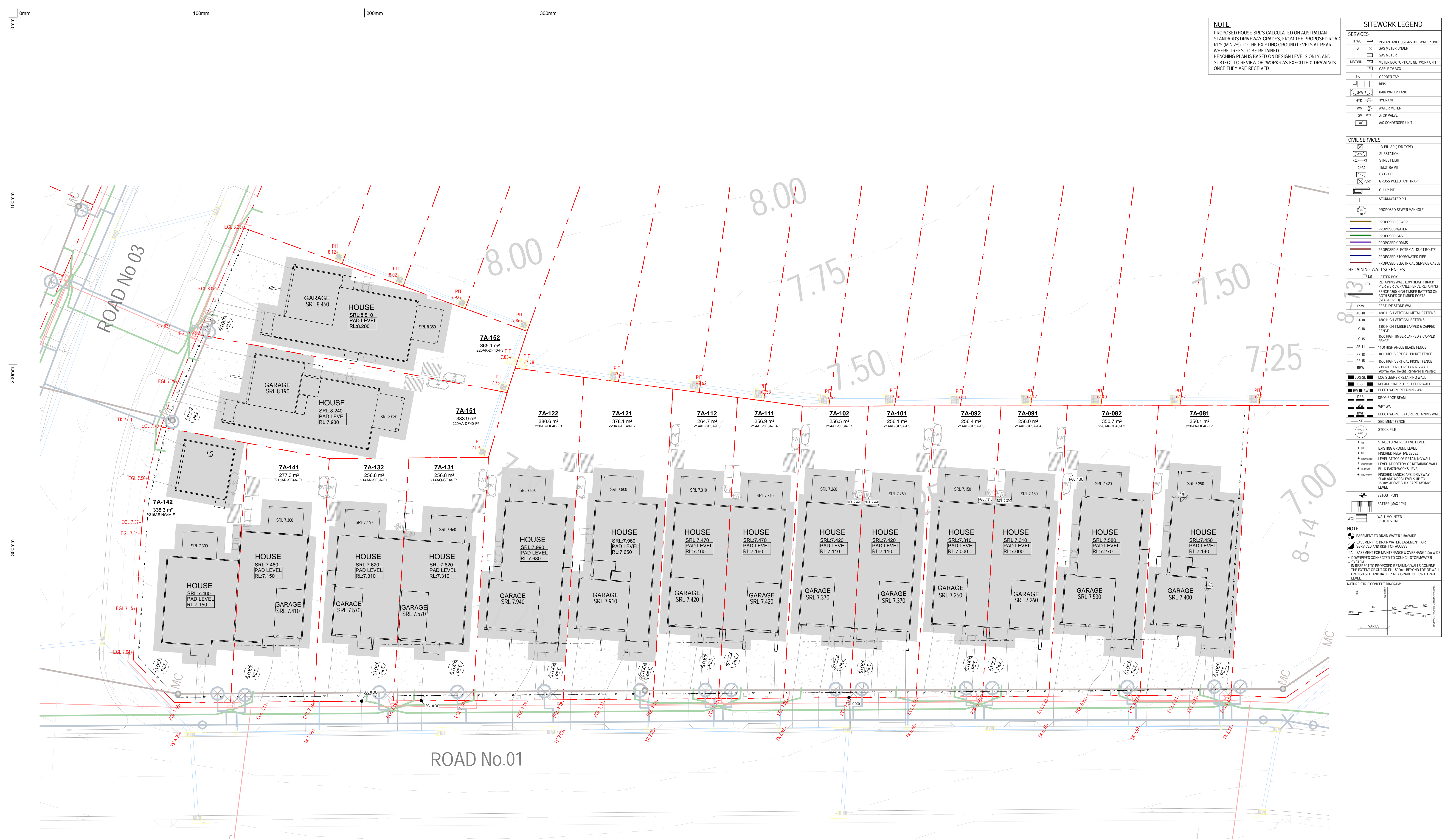
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Assessor name	Claude-Francois Sookloll
Accreditation No.	DMN/14/1662
Property Address	7A-092, Lot 7A-092 (W56) Prescot Parade MILPERRA 2214, NSW, 2214




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1 BENCHING PLAN - EROSION & SEDIMENT CONTROL
1:200




Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name: Claude-Francois Sookkoll
Accreditation No: DMN/14/1662
Property Address: 7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214

<https://www.frp.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>



28.02.25	B	ISSUE FOR DA SUBMISSION	
31.01.25	A	ISSUE FOR BASK ASSESSMENT	
	rev		amendment

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project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

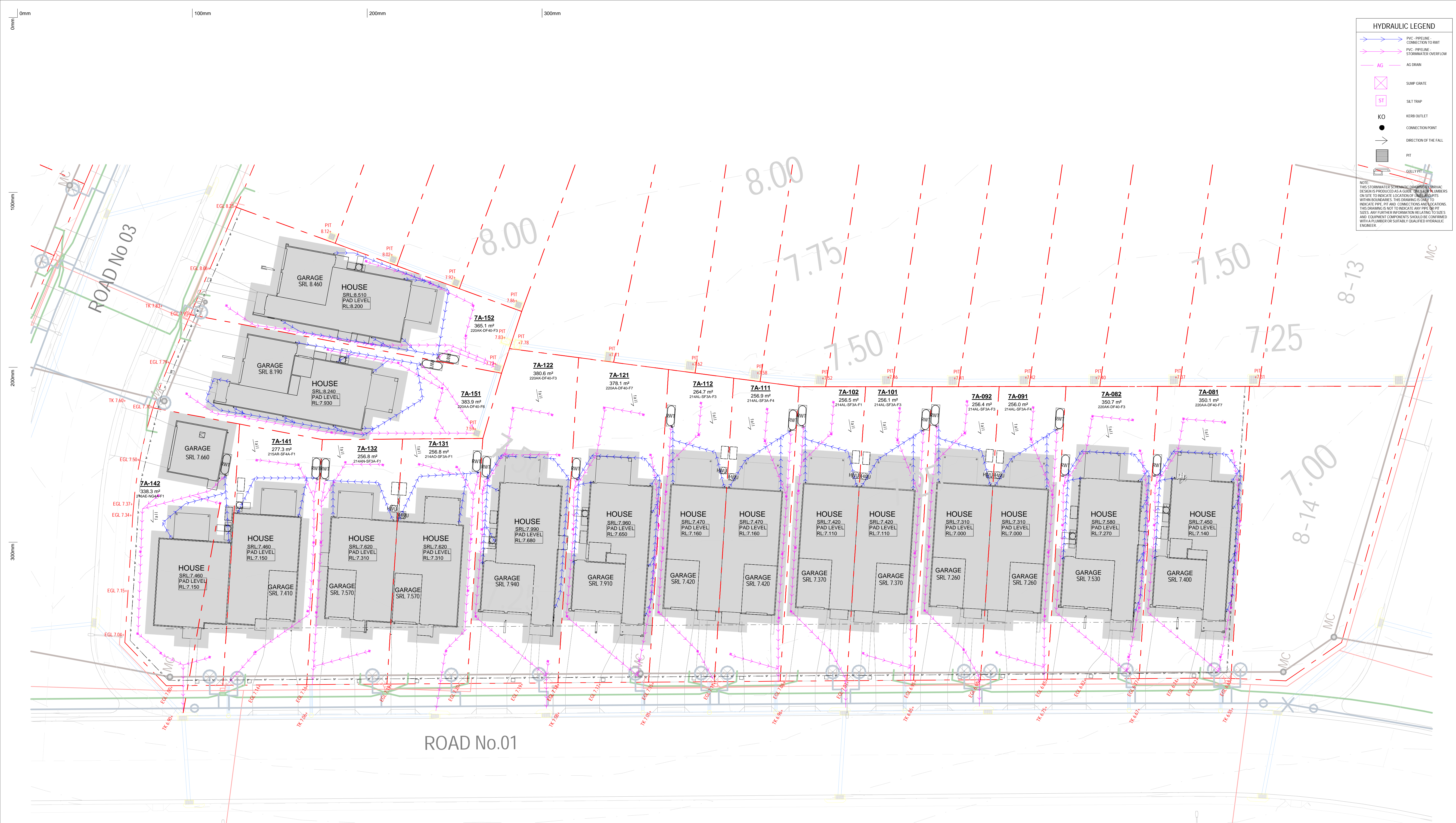
title:
**EROSION & SEDIMENT CONTROL
PLAN**

job no: MB-10245
drawing no: 110

date: 28.02.25
stage: 01
site: 7A

scale @ A1: 1:200
rev: B





HYDRAULIC LEGEND

- PVC PIPELINE CONNECTION TO RWT
- PVC PIPELINE STORMWATER OVERFLOW
- AG AG DRAIN
- SUMP GRATE
- SILT TRAP
- KO KERB OUTLET
- CONNECTION POINT
- DIRECTION OF THE FALL
- PIT
- GULLY PIT

NOTE: THIS STORMWATER SCHEMATIC DRAWING BY MIRVAC DESIGN IS PRODUCED AS A GUIDE ONLY. MIRVAC DESIGNERS ON-SITE TO INDICATE LOCATION OF THE GULLY PIT WITHIN BOUNDARIES. THIS DRAWING IS ONLY TO INDICATE PIPE, PIT AND CONNECTION LOCATIONS. THIS DRAWING IS NOT TO INDICATE ANY PIPE OR PIT SIZES. ANY FURTHER INFORMATION RELATING TO SIZES AND EQUIPMENT COMPONENTS SHOULD BE CONFIRMED WITH A PLUMBER OR SUITABLY QUALIFIED HYDRAULIC ENGINEER.

1 HYDRAULIC CONCEPT PLAN
1:200

Certificate No. # 4DJ1Y8PLB8
Scan QR code or follow website link for rating details.

Assessor name: Claude-Francois Sookkoll
Accreditation No: DMN/14/1662
Property Address: 7A-092, Lot 7A-092 (W56)
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28.02.25
31.01.25
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56 Prescott Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
HYDRAULIC CONCEPT PLAN

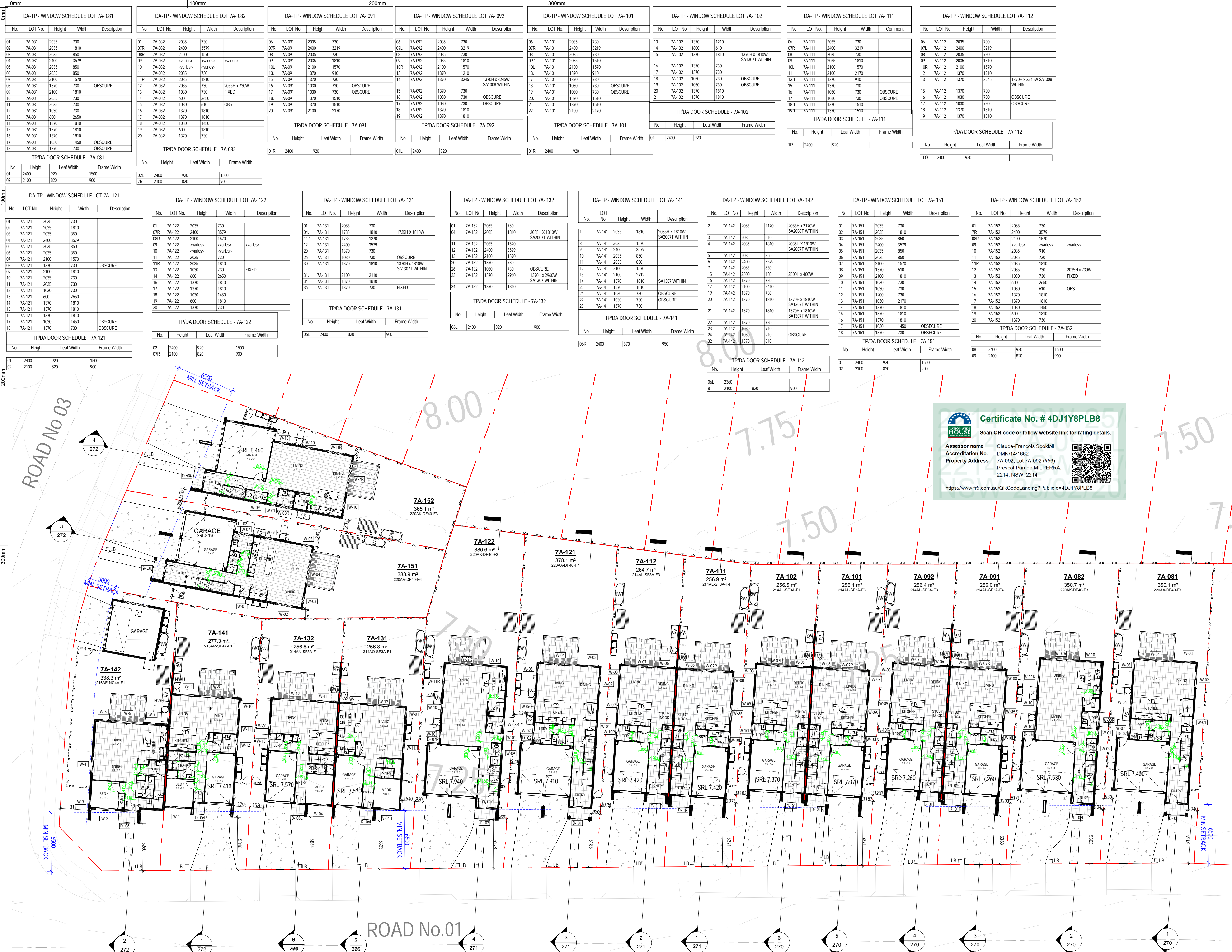
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drawing no: 120

date: 28.02.25

scale @ A1: 1:200

rev: B

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AREA SCHEDULE - SITE 7A GROSS

0	Lot No	Name	Area
---	--------	------	------

7A-081	Ground Floor	83.6 m²
7A-081	First Floor	112.4 m²
7A-081	Garage	34.2 m²
7A-081	Patio	12.0 m²
7A-081	Balcony	7.3 m²
7A-081	Porch	3.3 m²
		252.9 m²
7A-082	Ground Floor	84.3 m²
7A-082	First Floor	111.9 m²
7A-082	Garage	34.3 m²
7A-082	Patio	12.0 m²
7A-082	Balcony	6.9 m²
7A-082	Porch	3.0 m²
		252.5 m²
7A-091	Ground Floor	69.8 m²
7A-091	First Floor	74.2 m²
7A-091	Garage	22.8 m²
7A-091	Patio	12.2 m²
7A-091	Balcony	5.0 m²
7A-091	Porch	3.3 m²
		187.4 m²
7A-092	Ground Floor	69.8 m²
7A-092	First Floor	75.7 m²
7A-092	Garage	22.4 m²
7A-092	Patio	12.2 m²
7A-092	Porch	2.7 m²
		182.7 m²
7A-101	Ground Floor	70.3 m²
7A-101	First Floor	74.2 m²
7A-101	Garage	22.7 m²
7A-101	Patio	12.2 m²
7A-101	Balcony	5.0 m²
7A-101	Porch	2.9 m²
		187.3 m²
7A-102	Ground Floor	69.8 m²
7A-102	First Floor	74.8 m²
7A-102	Garage	22.3 m²
7A-102	Patio	12.3 m²
7A-102	Porch	2.7 m²
		181.9 m²
7A-111	Ground Floor	69.8 m²
7A-111	First Floor	74.8 m²
7A-111	Garage	22.6 m²
7A-111	Patio	12.1 m²
7A-111	Balcony	5.2 m²
7A-111	Porch	3.4 m²
		187.9 m²
7A-112	Ground Floor	69.8 m²
7A-112	First Floor	75.3 m²
7A-112	Garage	22.3 m²
7A-112	Patio	12.2 m²
7A-112	Porch	2.7 m²
		182.4 m²
7A-121	Ground Floor	83.6 m²
7A-121	First Floor	112.5 m²
7A-121	Garage	34.3 m²
7A-121	Patio	12.0 m²
7A-121	Balcony	7.2 m²
7A-121	Porch	3.3 m²
		252.9 m²
7A-122	Ground Floor	84.3 m²
7A-122	First Floor	111.9 m²
7A-122	Garage	34.3 m²
7A-122	Patio	12.0 m²
7A-122	Balcony	6.9 m²
7A-122	Porch	3.1 m²
		252.4 m²
7A-131	Ground Floor	70.6 m²
7A-131	First Floor	72.3 m²
7A-131	Garage	19.0 m²
7A-131	Patio	12.0 m²
7A-131	Balcony	5.7 m²
7A-131	Porch	2.2 m²
		181.8 m²
7A-132	Ground Floor	70.2 m²
7A-132	First Floor	75.7 m²
7A-132	Garage	19.3 m²
7A-132	Patio	12.0 m²
7A-132	Porch	2.2 m²
		179.0 m²
7A-141	Ground Floor	77.3 m²
7A-141	First Floor	77.9 m²
7A-141	Garage	19.3 m²
7A-141	Patio	12.0 m²
7A-141	Balcony	5.2 m²
7A-141	Porch	1.6 m²
		193.3 m²
7A-142	Ground Floor	83.8 m²
7A-142	First Floor	82.5 m²
7A-142	Garage	35.9 m²
7A-142	Patio	12.0 m²
7A-142	Balcony	8.4 m²
7A-142	Porch	3.0 m²
		225.6 m²
7A-151	Ground Floor	83.6 m²
7A-151	First Floor	113.5 m²
7A-151	Garage	34.2 m²
7A-151	Patio	12.0 m²
7A-151	Balcony	4.3 m²
7A-151	Porch	3.3 m²
		251.0 m²
7A-152	Ground Floor	84.5 m²
7A-152	First Floor	111.9 m²
7A-152	Garage	34.3 m²
7A-152	Patio	12.0 m²
7A-152	Balcony	6.9 m²
7A-152	Porch	3.1 m²
		252.6 m²

FLOOR PLAN LEGEND

BAL	BALUSTRADE
BN	BULKHEAD OVER
BO	STRUCTURAL BEAM TO ENGINEER'S DETAIL
CB	CUT BRICK DOOR
CSO	CANTY SLIDER DOOR
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
F1	ASSIGNED FLOOR JOIST DIRECTION
FEW	FACE BRICK WORK
FSW	FEATURE STONE WALL
HL	HEAD OF OPENING - HEIGHT AS NOTED
HLR	HANDRAIL - 1000mm HIGH MIN.
LWO	LINE OF WALL OVER
LWC	LIGHTWEIGHT CLADDING BOARDS
ML	CEILING MANHOLE
MR	META. ROOF - PITCH AS NOTED
PC	PORCELAIN TILES ETC.
PMP	PAINTED MASONRY PRODUCT
RPMP	RECESSED PAINTED MASONRY PRODUCT
SL	SUNLIGHT
SN	SHOWER NICHE
S	SMOKE ALARM
SD	STEPOVER
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
TP	TIMBER POST - SIZE AS NOTED
TR	TILED ROOF - PITCH AS NOTED
VJ	VERTICAL JOINT
+	HOSE COCK RECYCLE
-	HOSE COCK
MAN	MANHOLE POSITIONS TO BE DETERMINED BY SITE MANAGER
ALL	ALL DOWNPIPS NEAR BUILDING CORNERS ARE TO BE INSTALLED 300mm TO THE DOWNPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE
ANY	ANY DOWNPIPE WITHIN 600mm FROM A BOUNDARY MUST BE INSTALLED 300mm FROM THE BOUNDARY

SERVICES ABBREVIATIONS

AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EXHAUST
CM	GAS METER
HWU	INSTANTANEOUS GAS HOT WATER UNIT
MR	ELECTRICAL METER BOX
WTC	WATER TANK CONTROL BOX
C	CLOAK CUPBOARD
L	LINEN
ST	SERVICE STACK
WM	WATER METER
CT	COOKTOP
DW	DISH WASHER
DS	DREYER SPACE
FS	FREE STANDING COOKER
MM	MICROWAVE SPACE
P	PANTRY
R	REFRIGERATOR SPACE
RH	RANGEHOOD
UBO	UNDER BENCH OVEN
WD	WALL OVEN
WMS	WASHING MACHINE SPACE
PCO	PREMISS'S CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK

INTERNAL STAIRS

EXTERNAL BALUSTRADES

WINDOW NOTE

UNLABLE HOUSES

UNLABLE HOUSES

UNLABLE HOUSES

UNLABLE HOUSES

UNLABLE HOUSES

UNLABLE HOUSES

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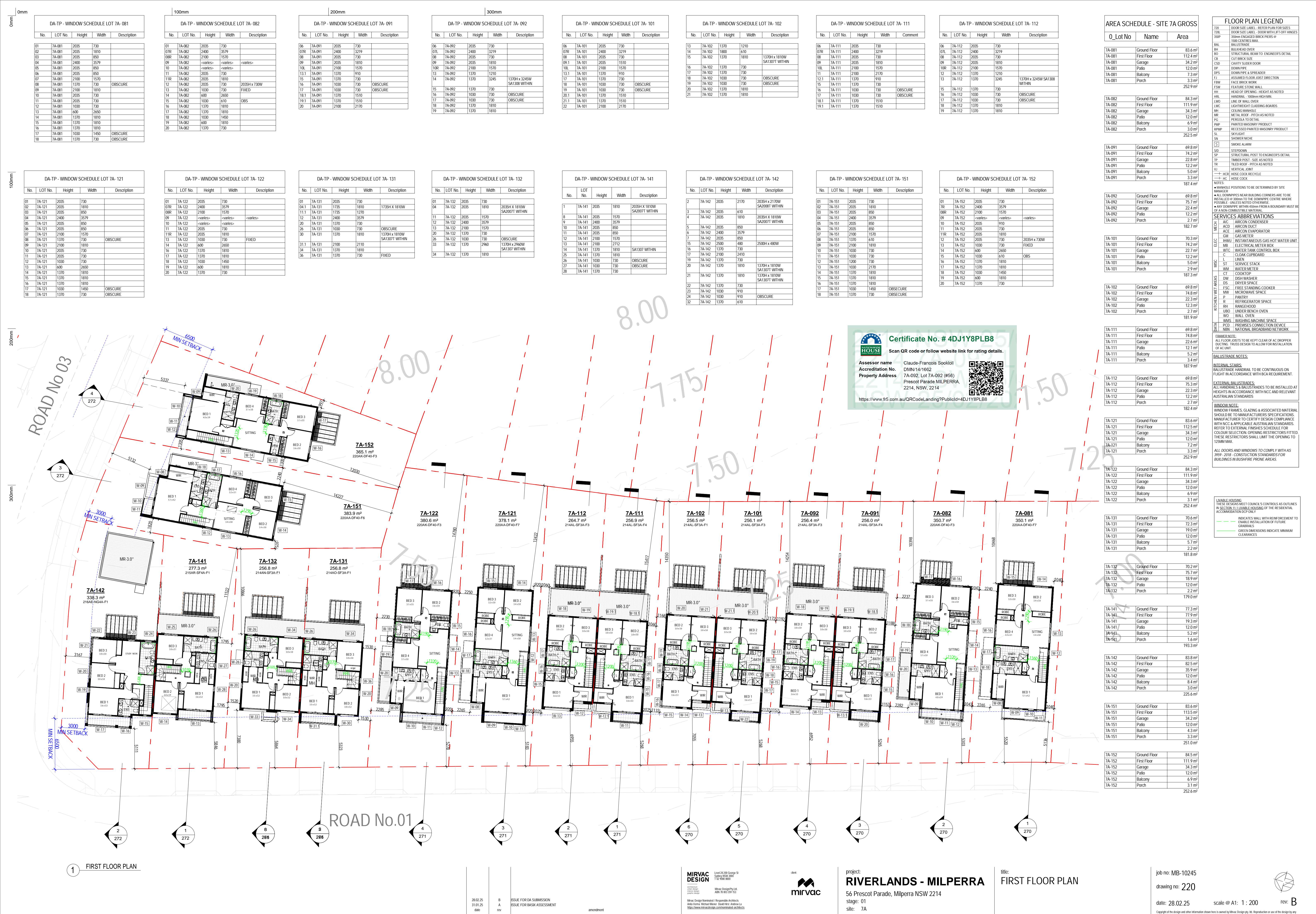
UNLABLE HOUSES

UNLABLE HOUSES


UNLABLE HOUSES

UNLABLE HOUSES

UNLABLE HOUSES








Certificate No. 4 #4DJY8PLB8

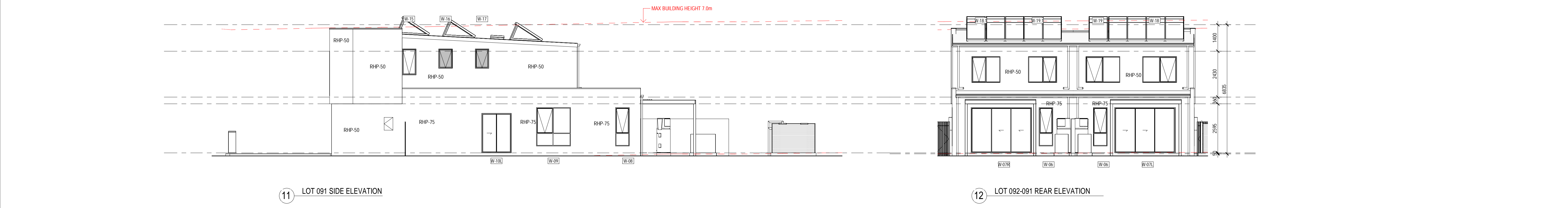
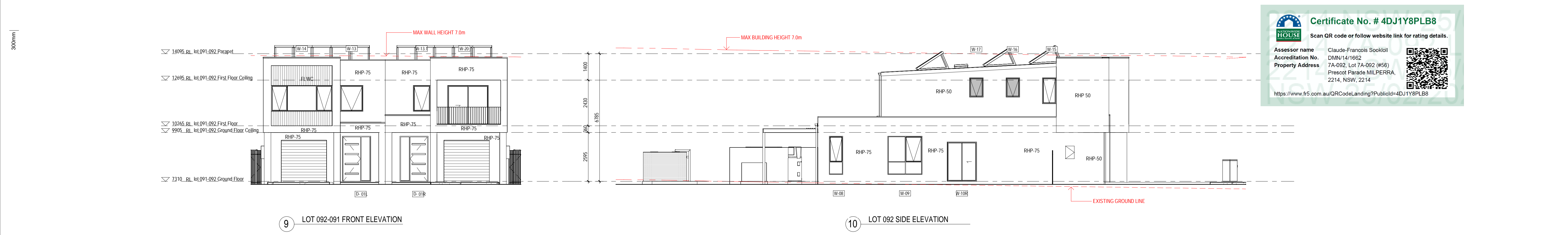
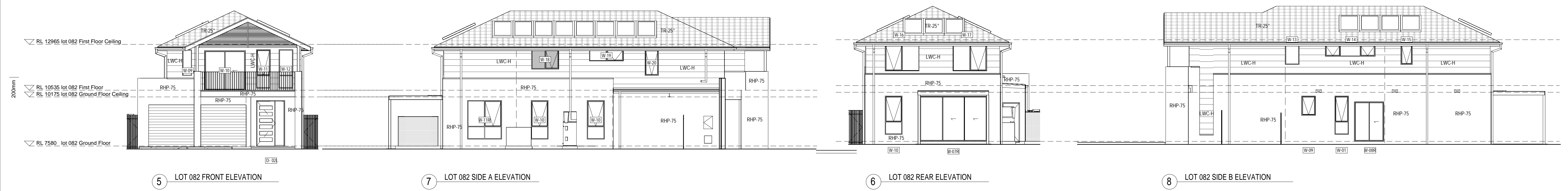
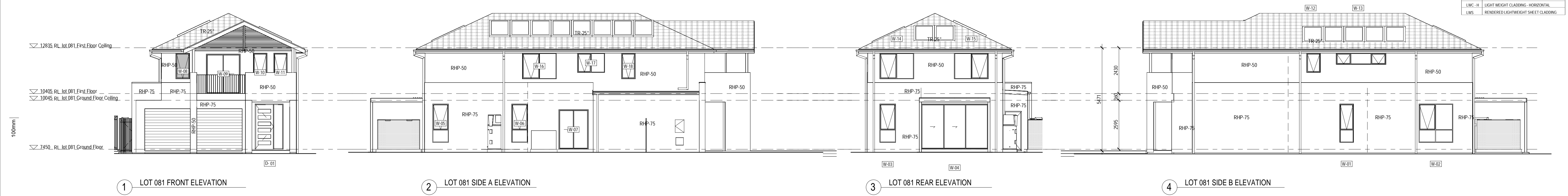
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Assessor name
 Accreditation No.
 Property Address

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0mm

100mm

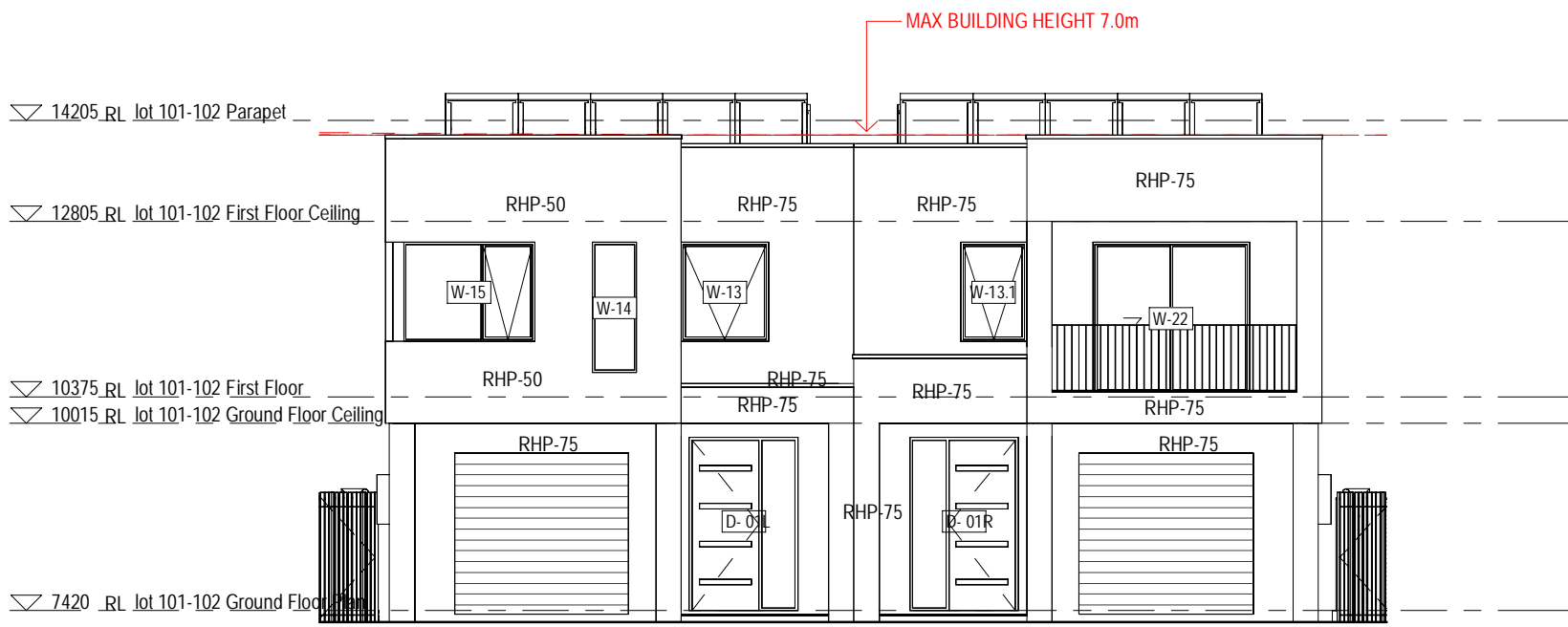
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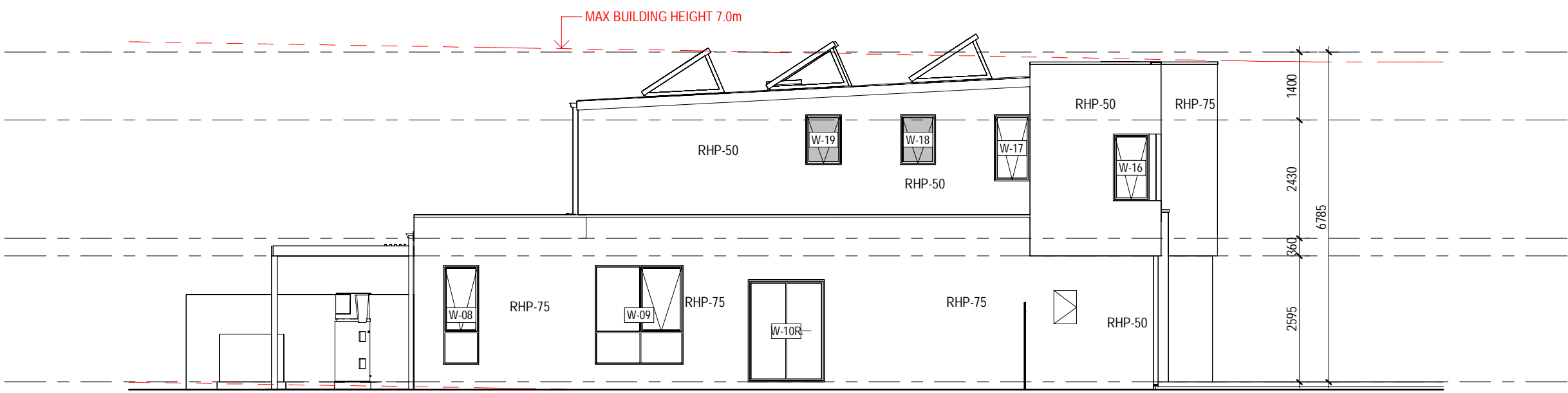
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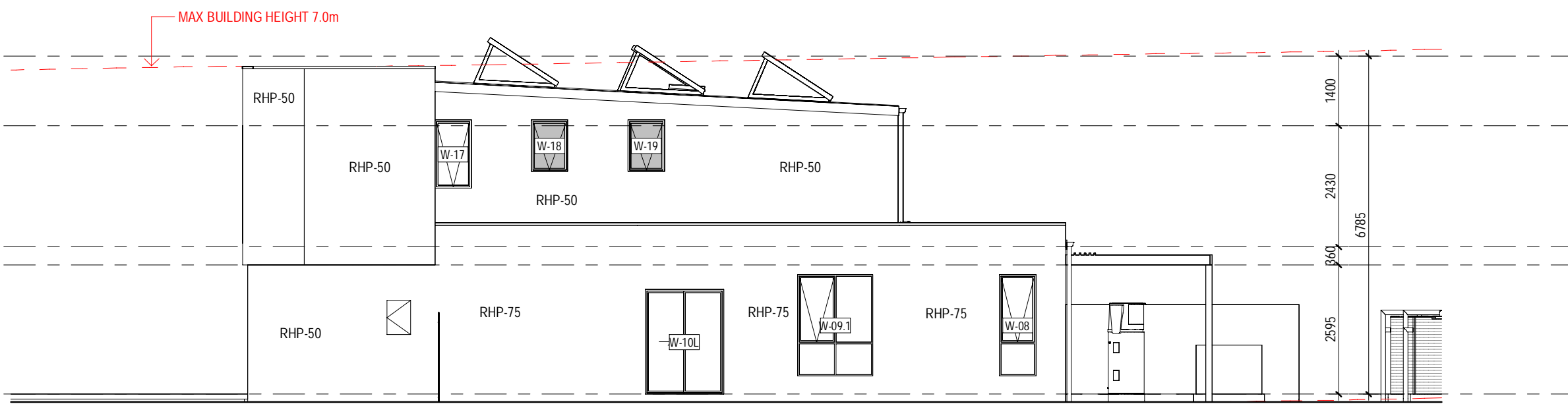
1 LOT 101-102 FRONT ELEVATION



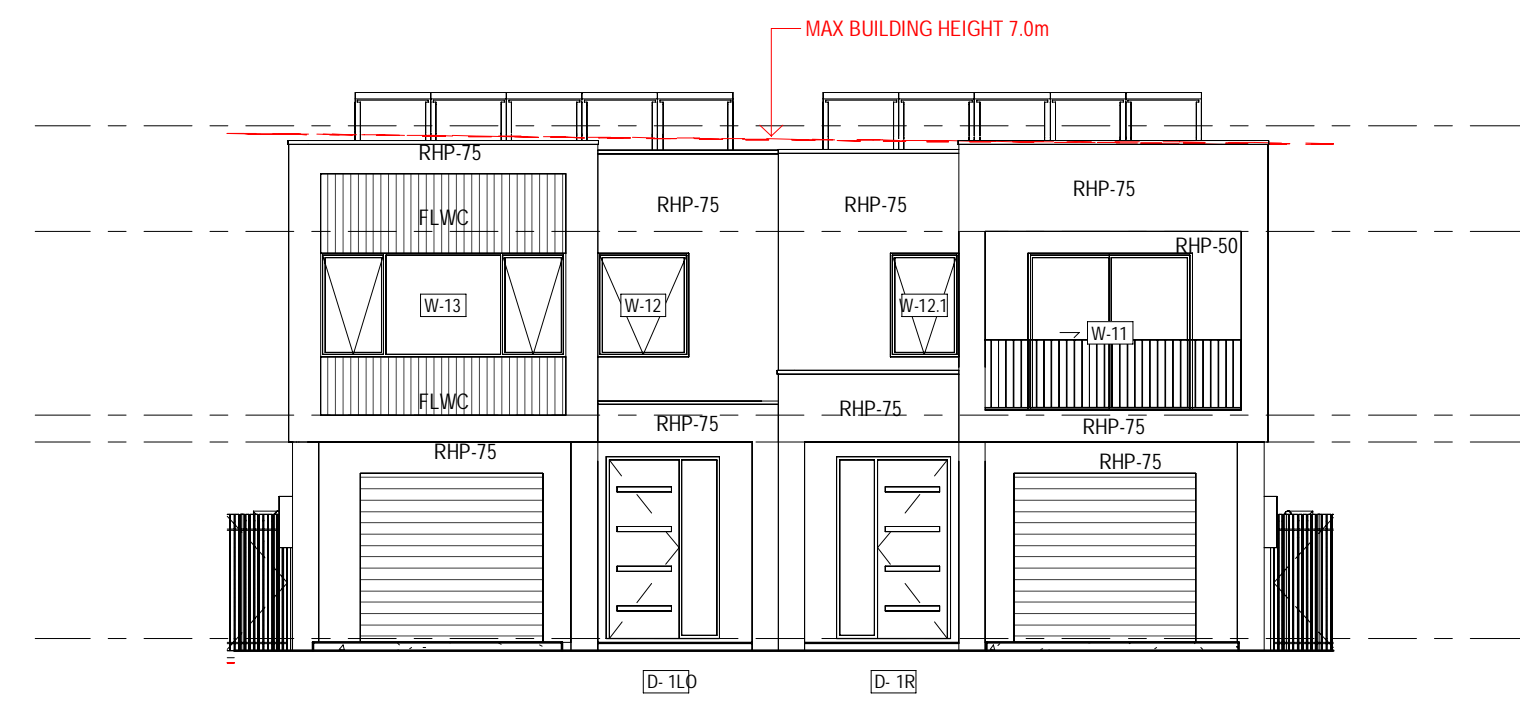
2 LOT 102 SIDE ELEVATION



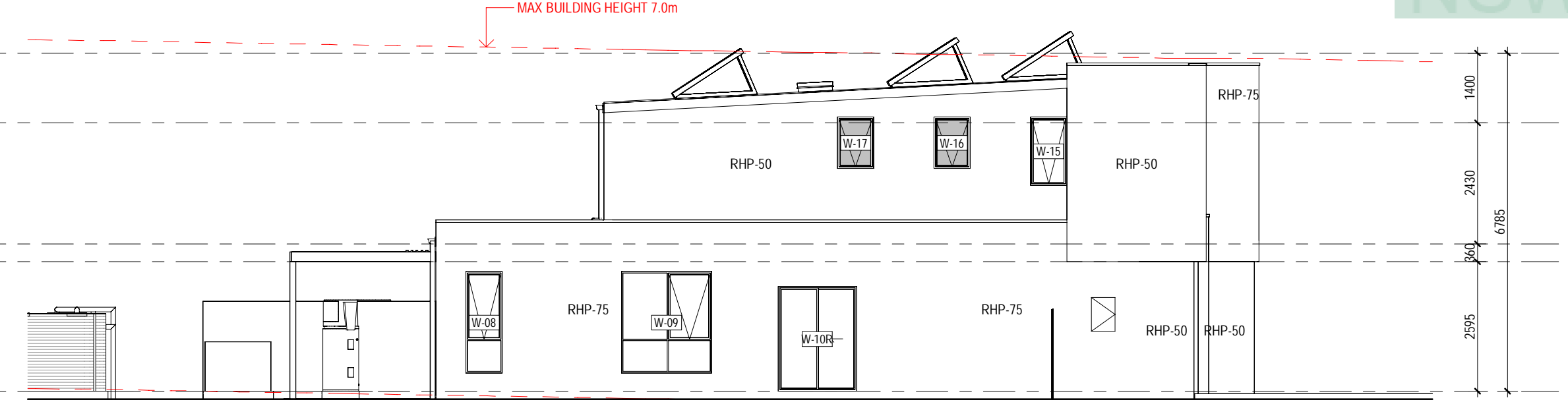
3 LOT 101-102 REAR ELEVATION



4 LOT 101 SIDE ELEVATION



8 LOT 112-111 FRONT ELEVATION



7 LOT 112 SIDE ELEVATION

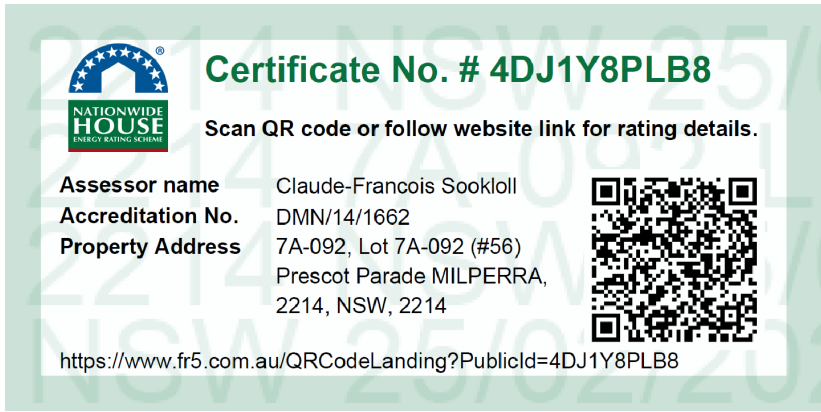


6 LOT 111-112 REAR ELEVATION



5 LOT 111 SIDE ELEVATION

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE.	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING



28.02.25
31.01.25
date

B
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rev

ISSUE FOR DA SUBMISSION
ISSUE FOR BASX ASSESSMENT

amendment

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client:
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
ELEVATIONS LOTS 101 - 112

job no: MB-10245
drawing no: 261

date: 28.02.25

scale @ A1: 1 : 100

rev: B

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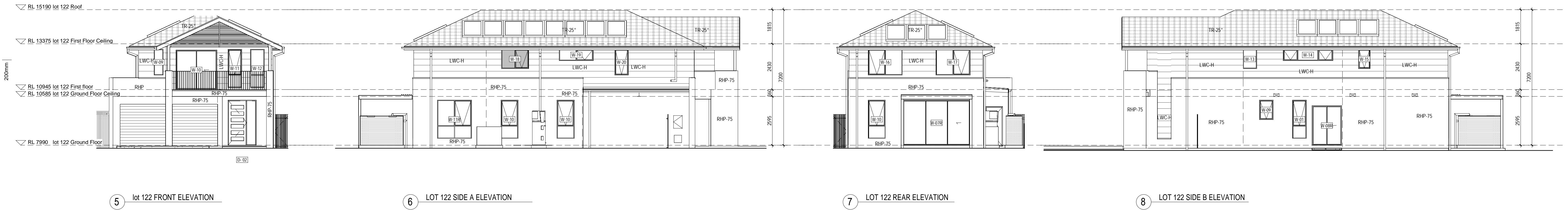
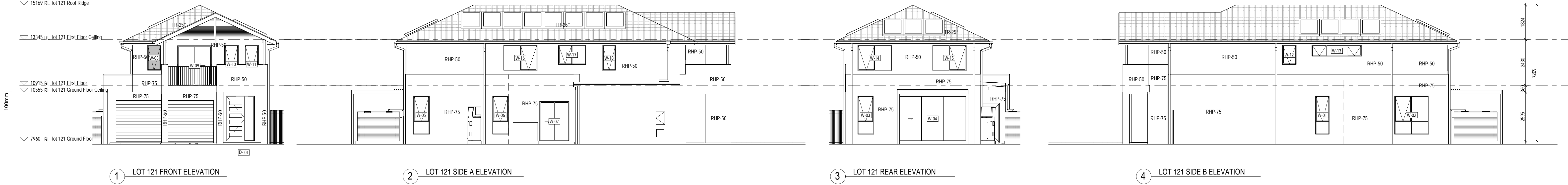
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100mm

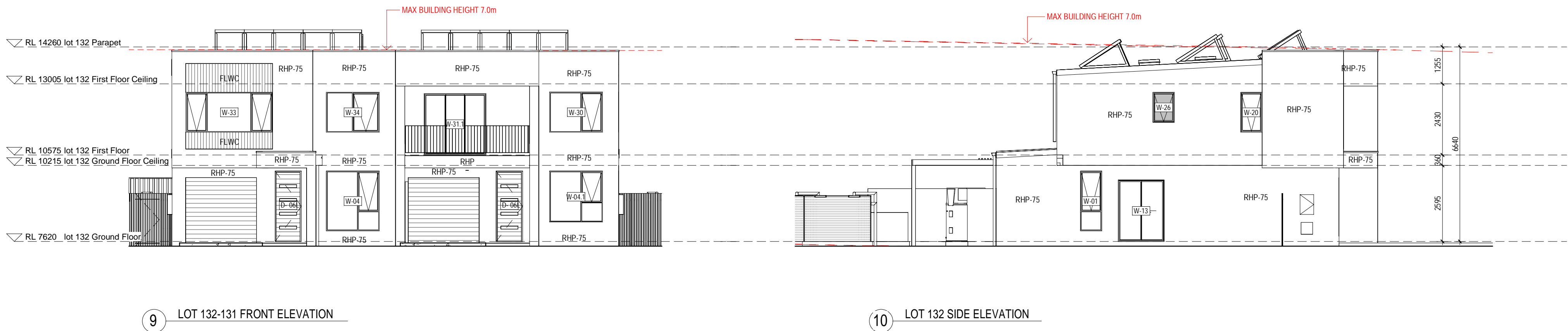
200mm


300mm

EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE.	
FRW	FACE BRICKWORK
BRW	RENDERED BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING



200mm





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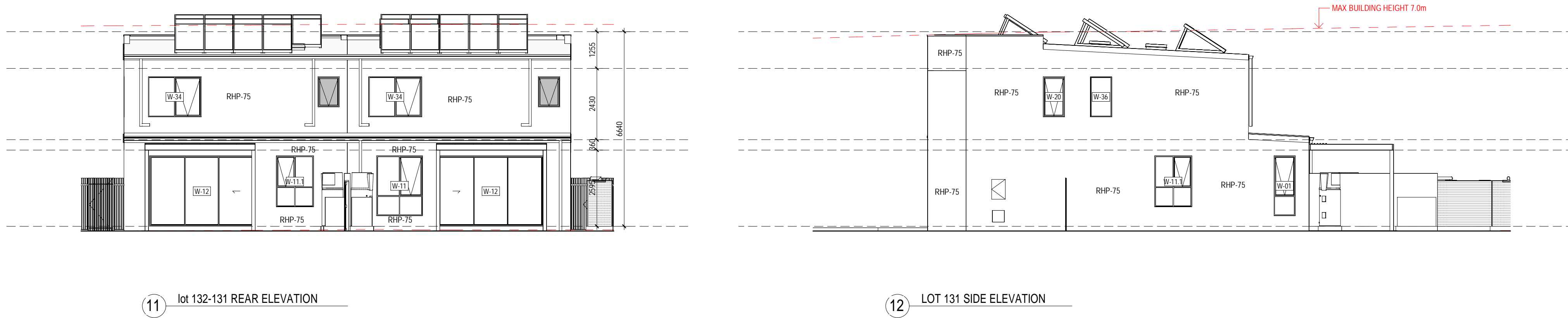
Assessor name Claude-Francois Sookkoll

Accreditation No. DMN/14/1662

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amendment

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Mirvac Design Nominees / Responsible Architects:
Aislinn Vennart, Michael Weller, David Hogg, Andrew La
<http://www.mirvacdesign.com/nomineesandarchitects>

client

mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
ELEVATIONS LOTS 121 - 132

job no: MB-10245
drawing no: 262

date: 28.02.25

scale @ A1: 1 : 100

rev: B

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0mm

100mm

200mm

300mm

100mm

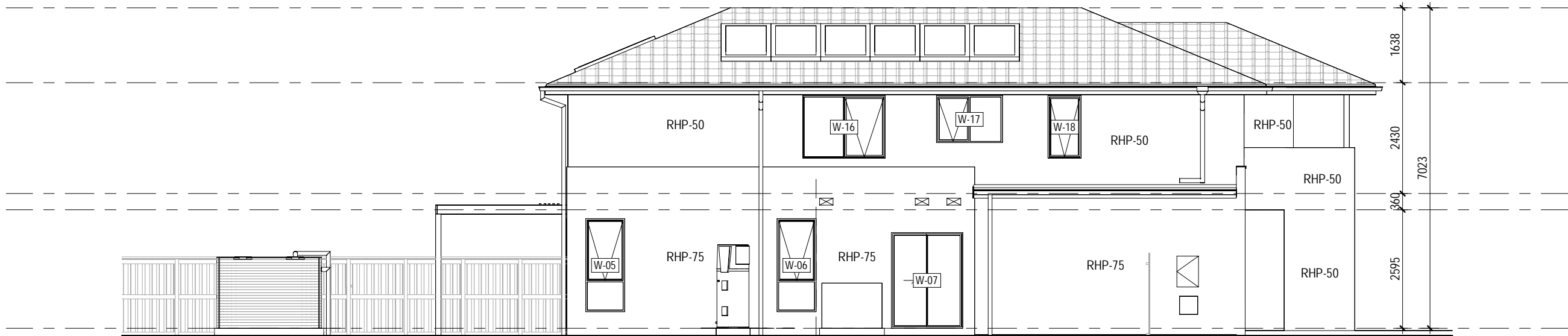
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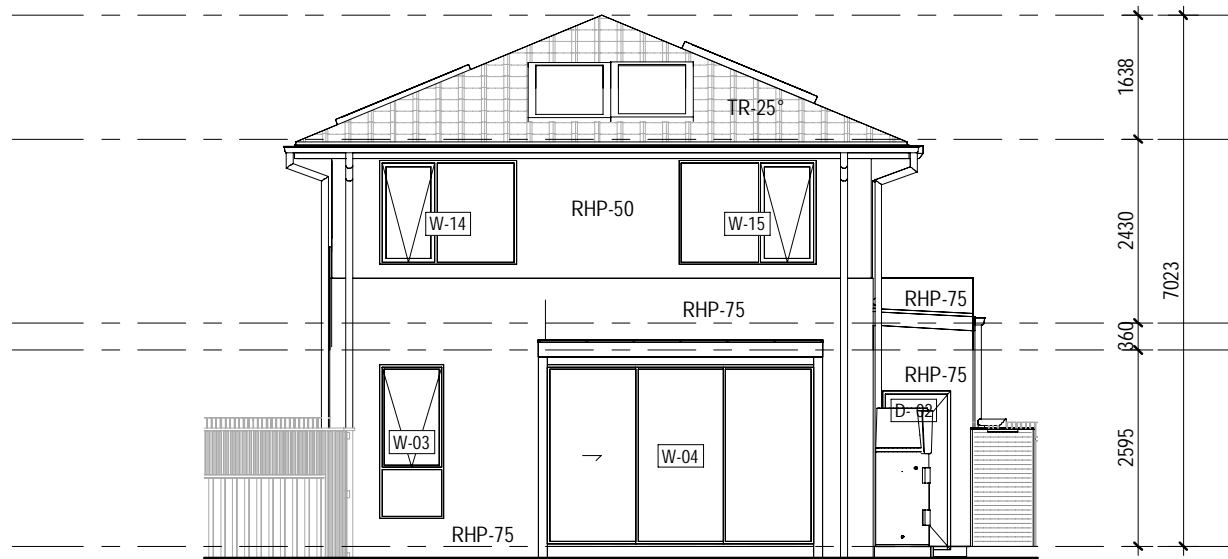
EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP-75	RENDERED REBEL PANEL 75
RHP-50	RENDERED REBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL REBEL TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING



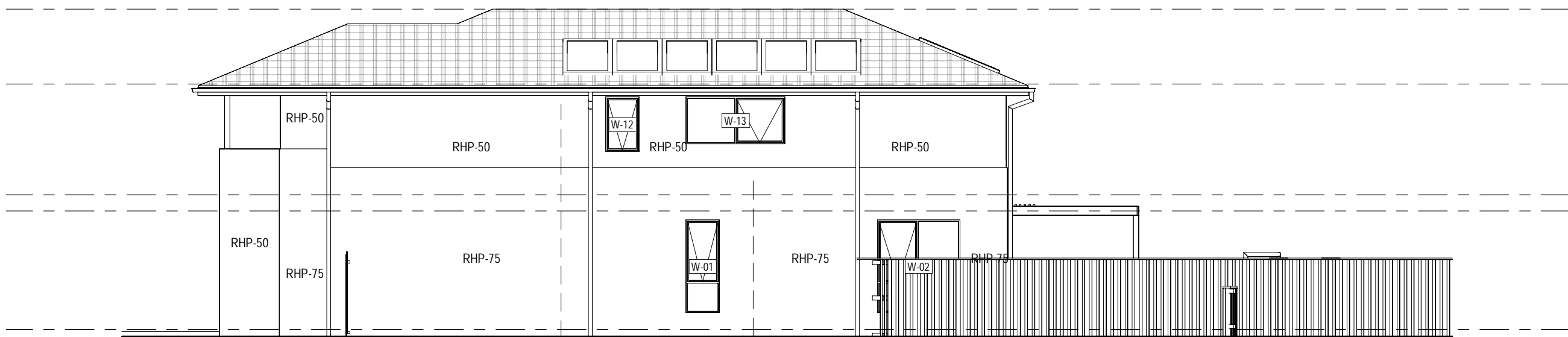
1 LOT 151 FRONT ELEVATION



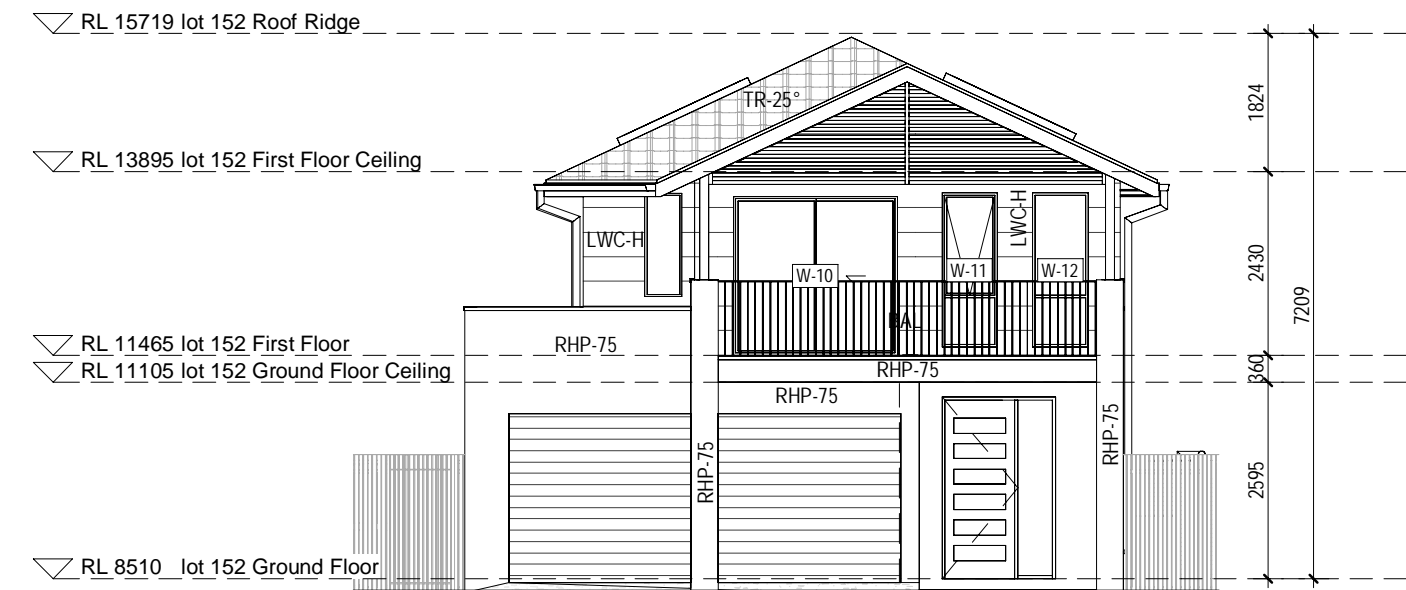
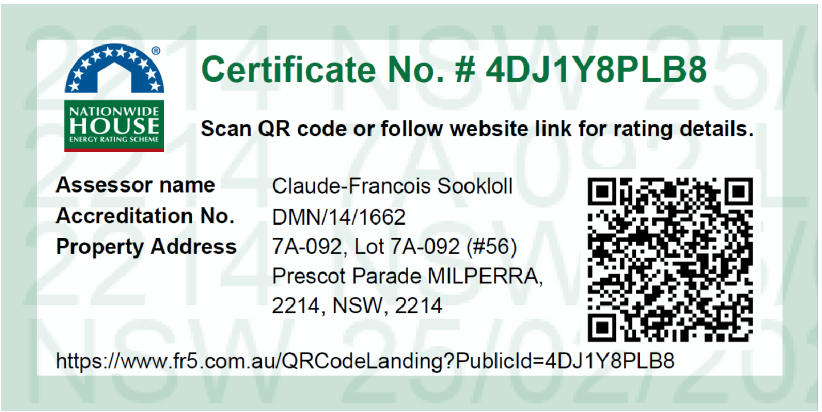
2 LOT 151 SIDE A ELEVATION



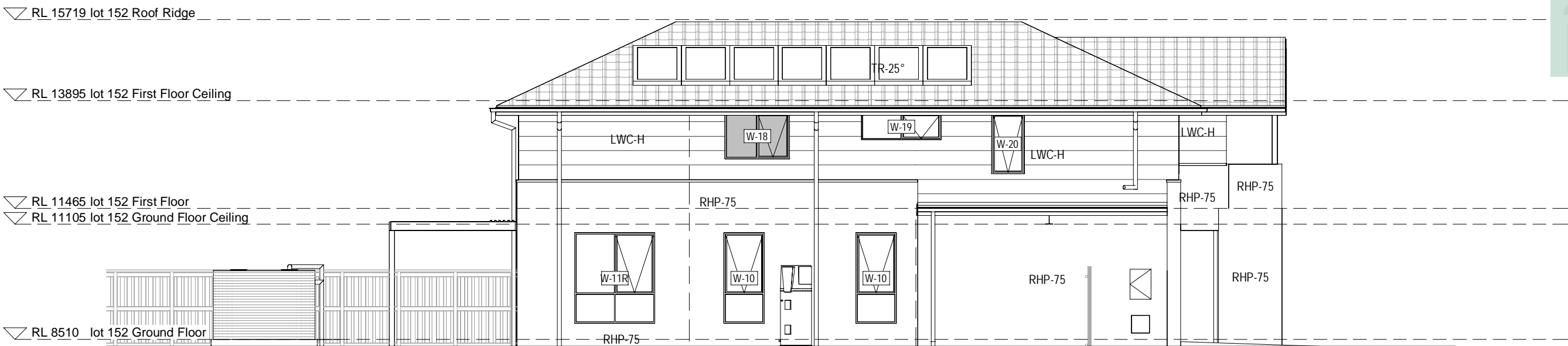
3 LOT 151 REAR ELEVATION



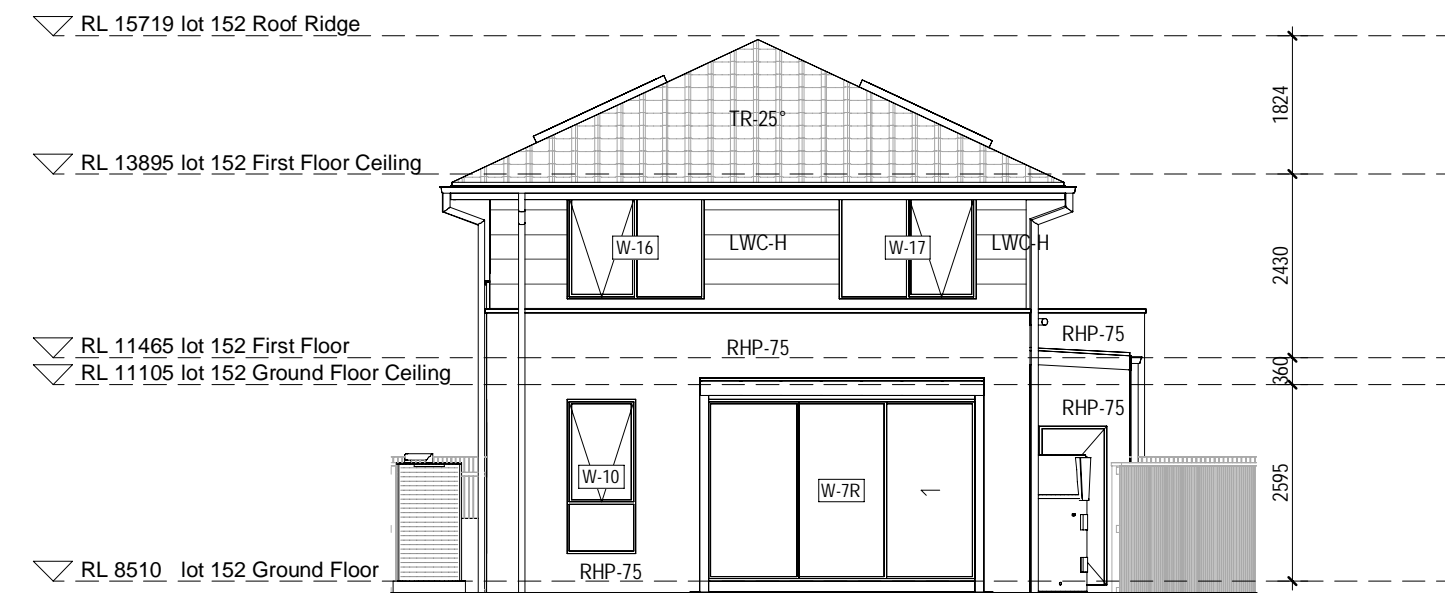
4 LOT 151 SIDE B ELEVATION



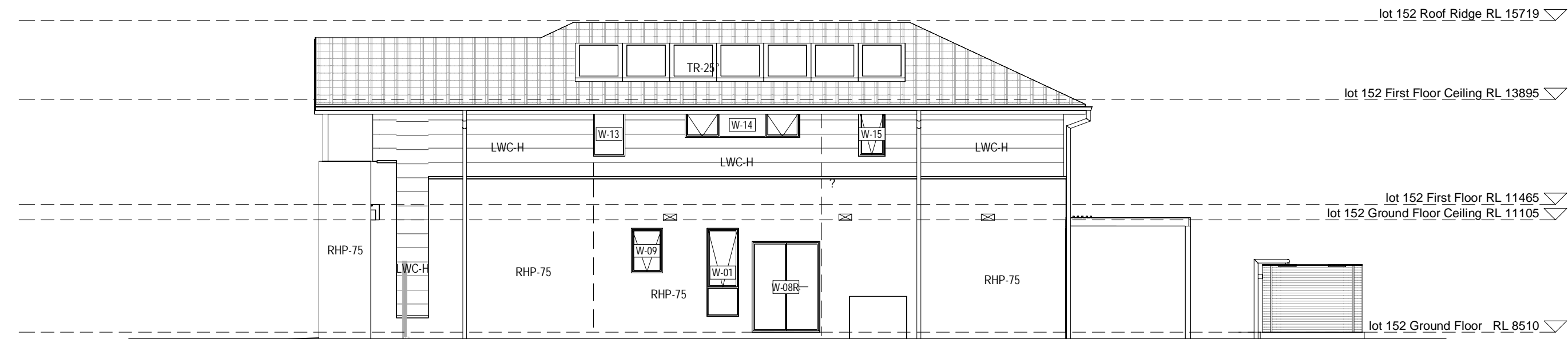
5 LOT 152 FRONT ELEVATION



6 LOT 152 SIDE A ELEVATION



7 LOT 152 REAR ELEVATION



8 LOT 152 SIDE B ELEVATION

28.02.25	B	ISSUE FOR DA SUBMISSION	
31.01.25	A	ISSUE FOR BASX ASSESSMENT	
date	rev		amendment

MIRVAC DESIGN
Level 18, 208 George St
Sydney NSW 2000
Tel: 02 9460 8800
Mirvac Design Pty Ltd
ABN 74 001 199 153
Mirvac Design Nominees / Responsible Architects:
Alicia Verma, Michael Weller, David Hogg, Andrew La
http://www.mirvacdesign.com/nominees_and_basx

client:
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
ELEVATIONS LOTS 151 - 152

job no: MB-10245
drawing no: 264

date: 28.02.25

scale @ A1: 1 : 100

rev: B

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100mm

200mm

300mm



1 LOT 152- 142 COLOURED STREETSCAPE

200mm




2 LOT 142 - 111 COLOURED STREETSCAPE

300mm




3 LOT 102 - 081 COLOURED STREETSCAPE



Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name Claude-Francois Spokkili
Accreditation No. DMN/14/1662
Property Address 7A-092, Lot 7A-092 (958)
Prescot Parade MILPERRA,
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>

28.02.25	B	ISSUE FOR DA SUBMISSION	
31.01.25	A	ISSUE FOR BASK ASSESSMENT	
date	rev		amendment

MIRVAC DESIGN
Level 18, 108 George St
Sydney NSW 2000
T: 02 9461 8800
Mirvac Design Nominees / Responsible Architects:
Asha Verma, Michael Winer, David King, Andrew La
http://www.mirvacdesign.com/nominees_and_architects

client
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
COLOURED STREETSCAPE

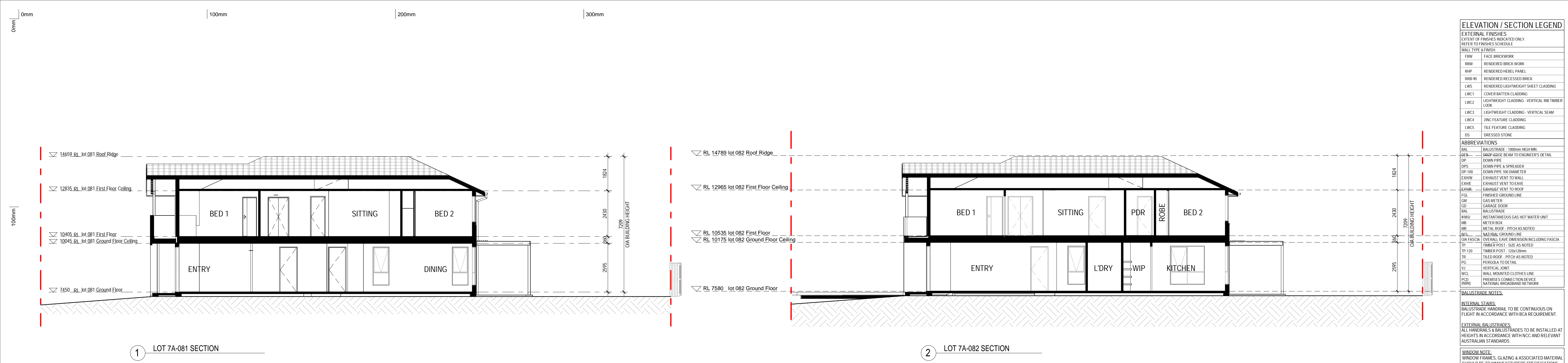
job no: MB-10245
drawing no: 268

date: 28.02.25


scale @ A1: 1 : 100

rev: B

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ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
WALL TYPE & FINISH	
FBW	FACE BRICKWORK
RBW	RENDERED BRICK WORK
RHP	RENDERED HERBEL PANEL
RBS-90	RENDERED RECESSED BRICK
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWC1	COVER BATTEN CLADDING
LWC2	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
LWC3	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LWC4	ZINC FEATURE CLADDING
LWCS	TILE FEATURE CLADDING
DS	DRESSED STONE
ABBREVIATIONS	
BAL	BALUSTRADE - 100mm HIGH MIN.
DEB	DROP EDGE BEAM TO ENGINEER'S DETAIL
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100 DIAMETER
EXHW	EXHAUST VENT TO WALL
EXHE	EXHAUST VENT TO EAVE
EXHR	EXHAUST VENT TO ROOF
GM	GAS METER
GD	GARAGE DOOR
BAL	BALUSTRADE
IBWU	INSTANTANEOUS GAS HOT WATER UNIT
MB	METER BOX
MR	METAL ROOF - PITCH AS NOTED
NGL	NATURAL GROUND LINE
OIA FASCIA	OVERALL EAVE DIMENSION INCLUDING FASCIA
TP	TIMBER POST - SIZE AS NOTED
TP-120	TIMBER POST - 120x120mm
TR	TILED ROOF - PITCH AS NOTED
PS	PERGOLA TO DETAIL
VJ	VERTICAL JOINT
WCL	WALL MOUNTED CLOTHES LINE
PCD	PREMIER CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK
BALUSTRADE NOTES:	
INTERNAL STAIRS: BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
EXTERNAL BALUSTRADES: ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	
WINDOW NOTE: WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 150MM MAX.	
ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	



Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

28.02.25

31.01.25

date

B


A

rev

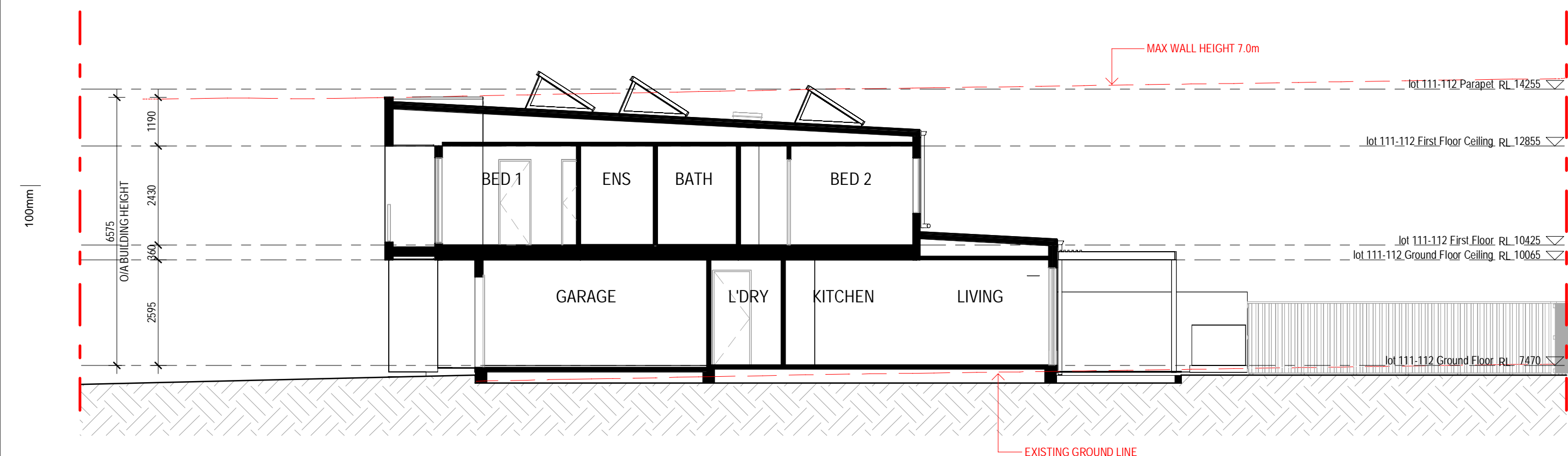
ISSUE FOR DA SUBMISSION

ISSUE FOR BASX ASSESSMENT

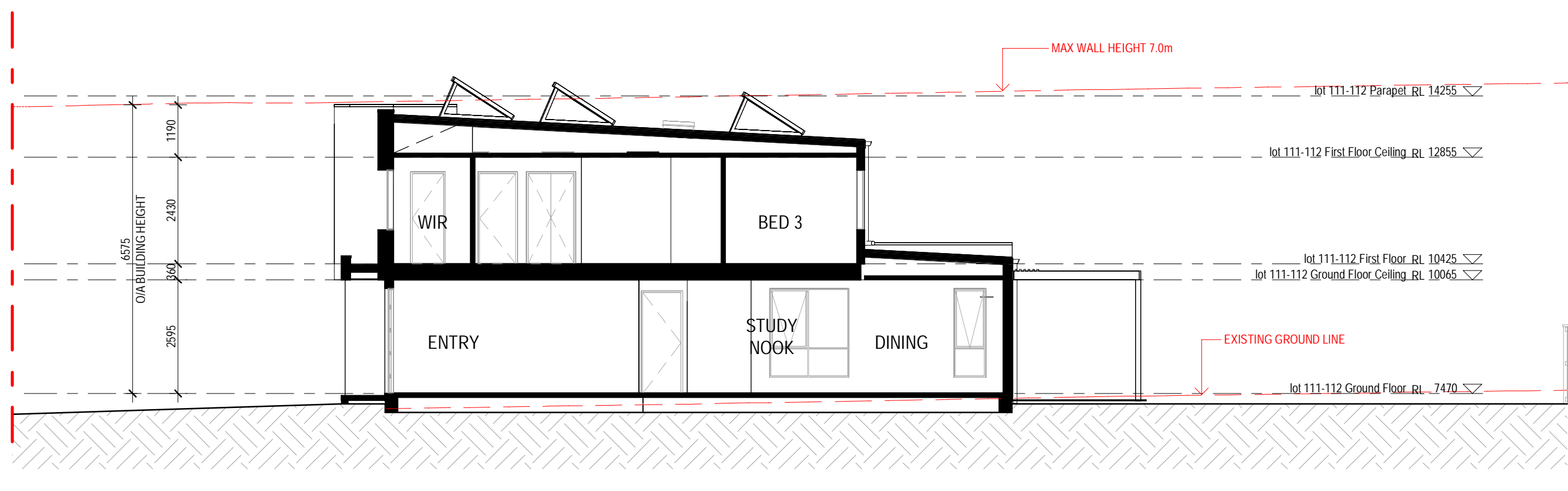
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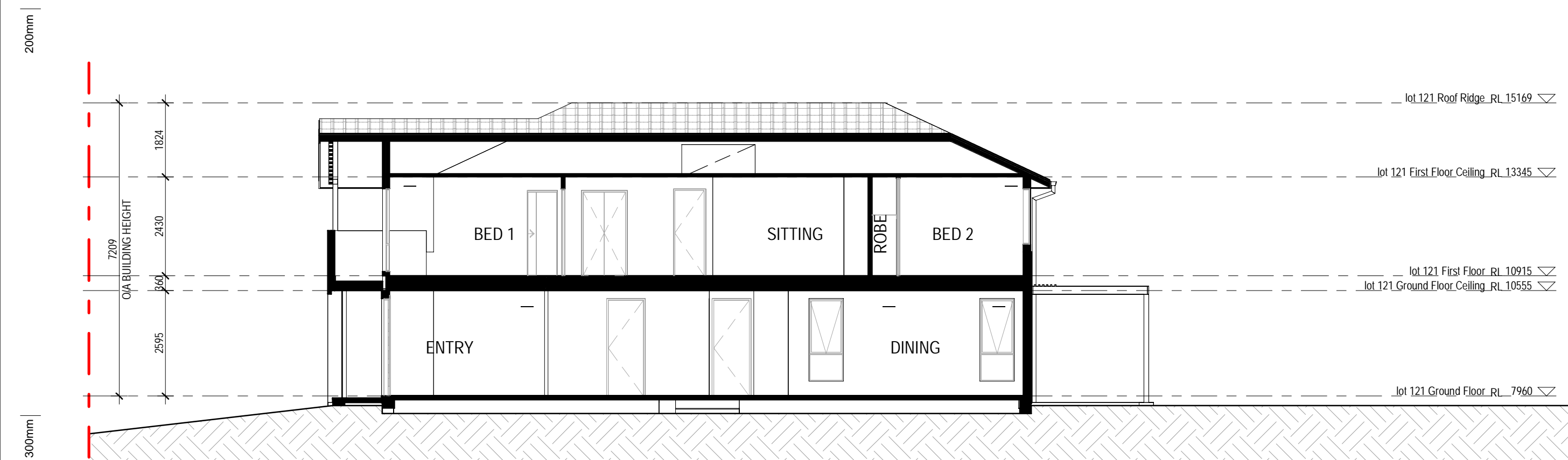
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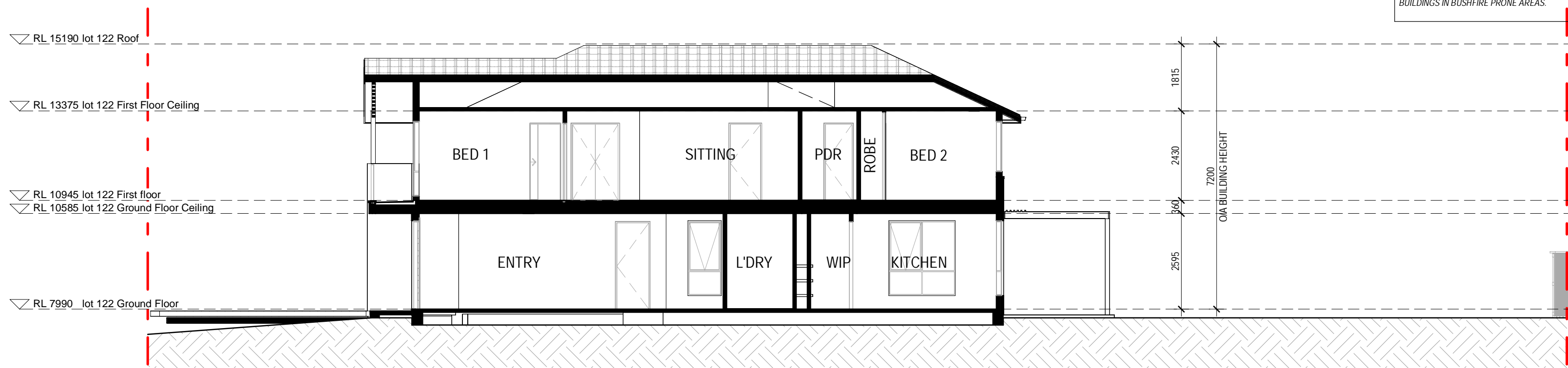
1 LOT 7A-111 SECTION



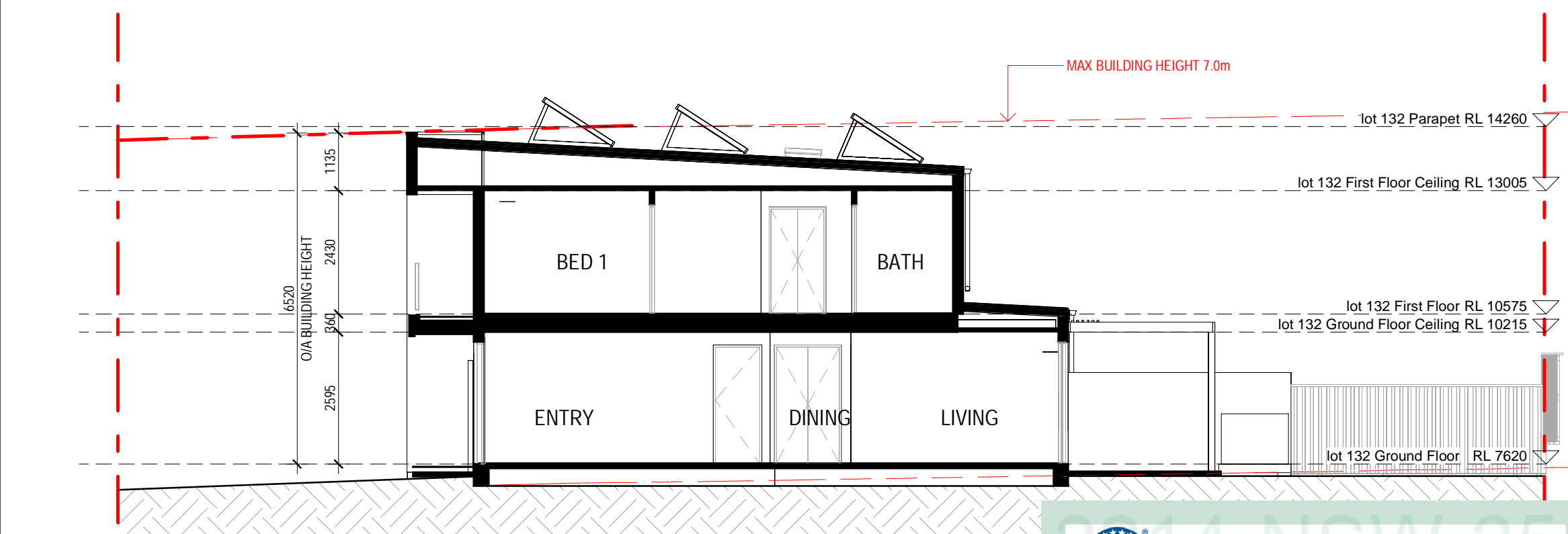
2 LOT 7A-112 SECTION



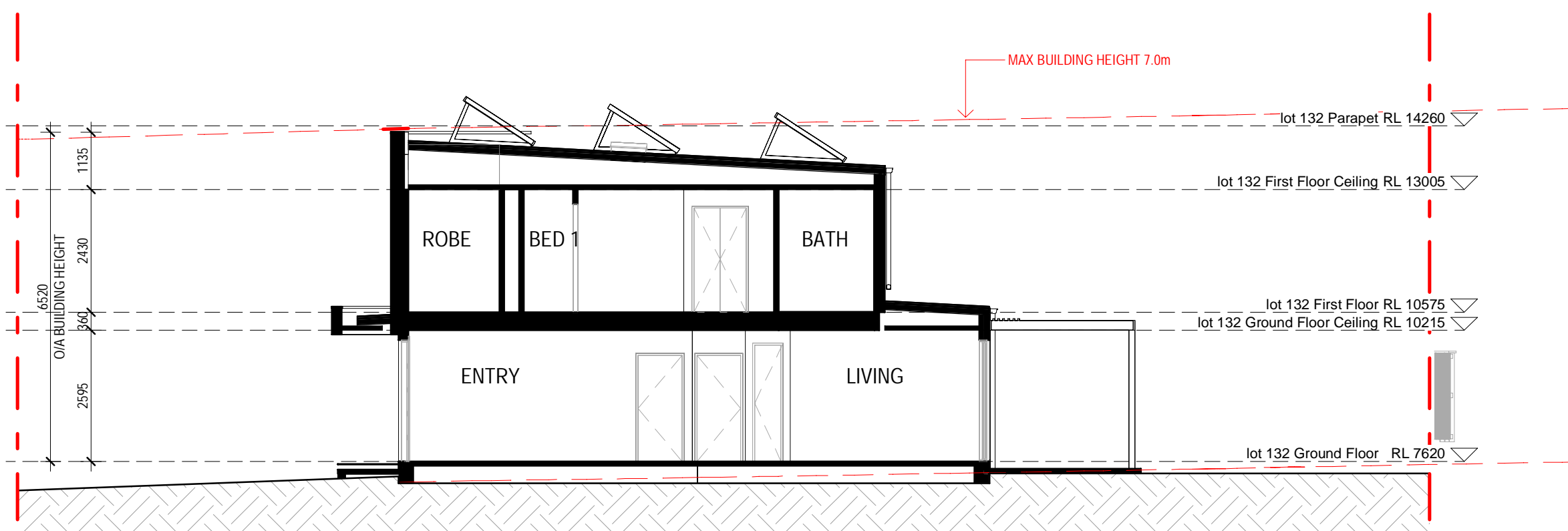
3 LOT 7A-121 SECTION



4 LOT 7A-122 SECTION



5 LOT 7A-131 SECTION



6 LOT 7A-132 SECTION

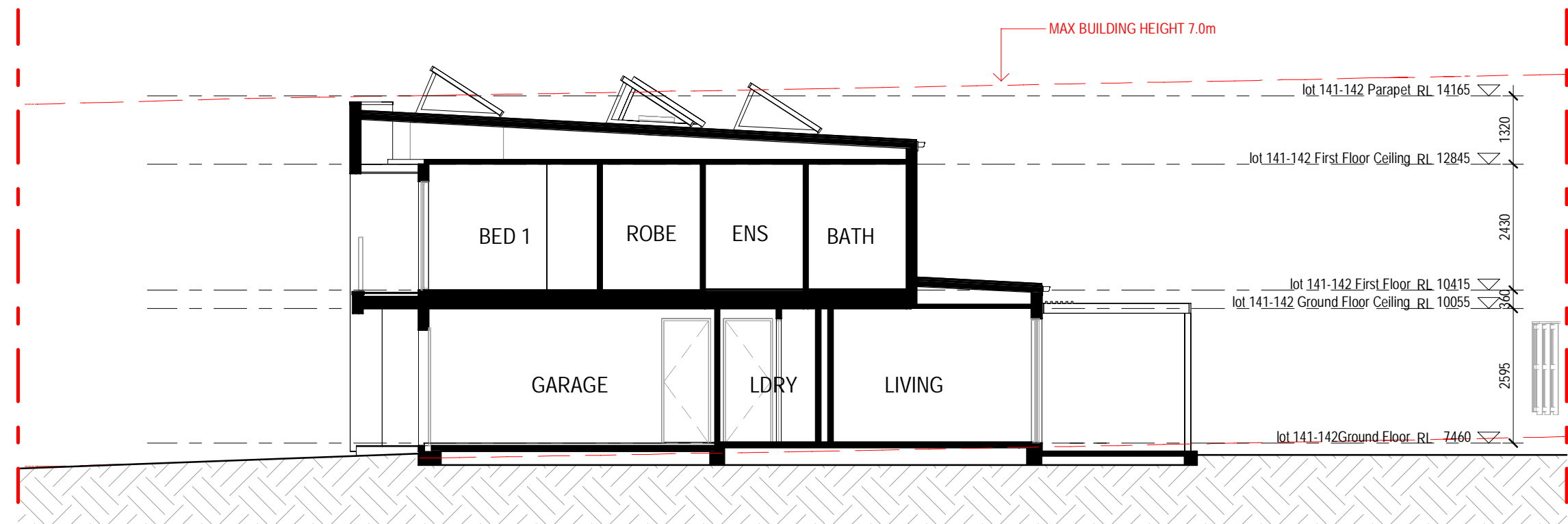
ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
WALL TYPE & FINISH	
FBW	FACE BRICKWORK
RBW	RENDERED BRICK WORK
RHP	RENDERED HERBEL PANEL
RBS-90	RENDERED RECESSED BRICK
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWC1	COVER BATTEN CLADDING
LWC2	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
LWC3	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LWC4	ZINC FEATURE CLADDING
LWS	TILE FEATURE CLADDING
DS	DRESSED STONE
ABBREVIATIONS	
BAL	BALUSTRADE - 1000mm HIGH MIN.
DEB	DROP EDGE BEAM TO ENGINEER'S DETAIL
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100 DIAMETER
EXHW	EXHAUST VENT TO WALL
EXHR	EXHAUST VENT TO ROOF
EXHR	EXHAUST VENT TO ROOF
FXL	FINISHED GROUND LINE
GM	GAS METER
GD	GARAGE DOOR
BAL	BALUSTRADE
IBWU	INSTANTANEOUS GAS HOT WATER UNIT
MB	METER BOX
MR	METAL ROOF - PITCH AS NOTED
NGL	NATURAL GROUND LINE
OIA FASCIA	OVERALL LEAVE DIMENSION INCLUDING FASCIA
TP	TIMBER POST - SIZE AS NOTED
TP-120	TIMBER POST - 120x120mm
TR	TILED ROOF - PITCH AS NOTED
PS	PERSOLLA TO DETAIL
VJ	VERTICAL JOINT
WCL	WALL MOUNTED CLOTHES LINE
PCD	PREMIERS CONNECTION DEVICE
(NBN)	NATIONAL BROADBAND NETWORK
BALUSTRADE NOTES:	
INTERNAL STAIRS: BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
EXTERNAL BALUSTRADES: ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	
WINDOW NOTE: WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 150MM MAX.	
ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	

Certificate No. # 4DJ1Y8PLB8
Scan QR code or follow website link for rating details.

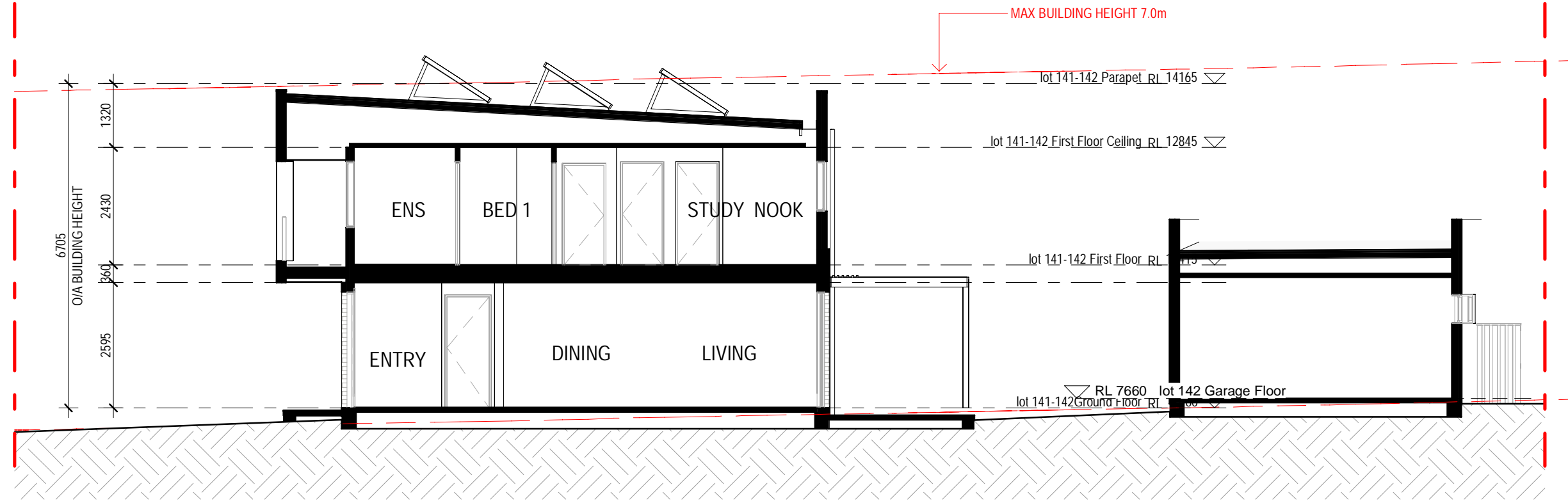
Assessor name
Accreditation No.
Property Address

Claude-Francois Sookloll
DMN/14/1662
7A-092, Lot 7A-092 (#56)
Prescot Parade MILPERRA
2214, NSW, 2214

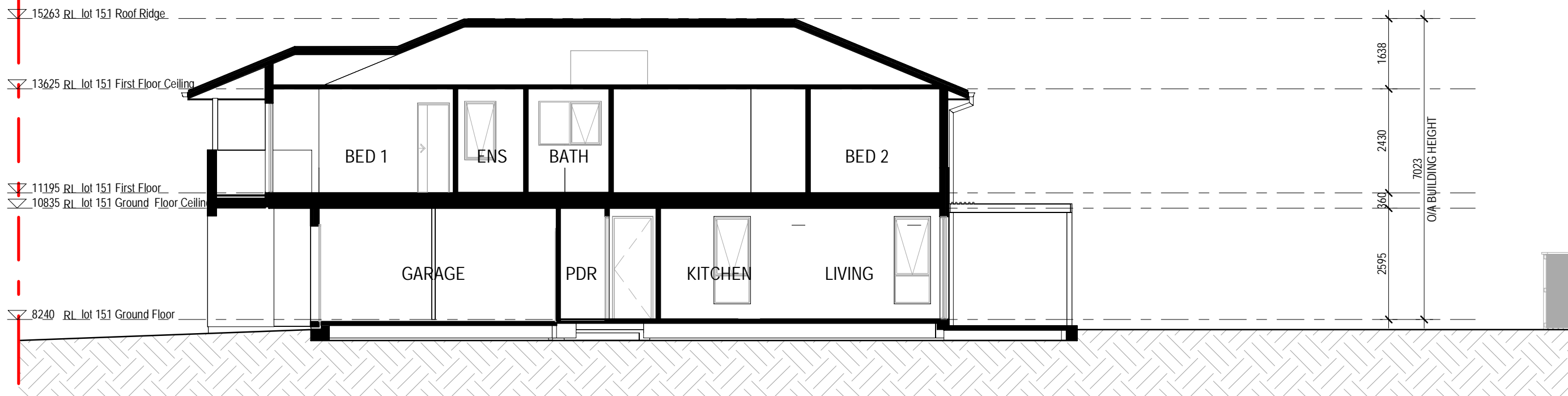
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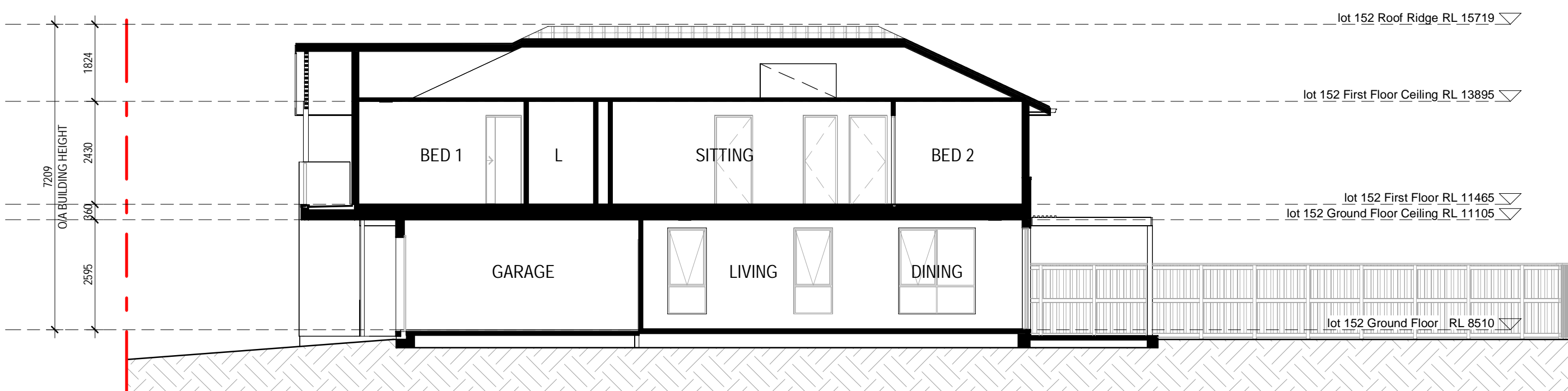
1 LOT 7A-141 SECTION



2 LOT 7A-142 SECTION




3 LOT 7A-151 SECTION




4 LOT 7A-152 SECTION

ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
WALL TYPE & FINISH	
FBW	FACE BRICKWORK
RBW	RENDERED BRICK WORK
RHP	RENDERED HERBEL PANEL
RBS-90	RENDERED RECESSED BRICK
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWC1	COVER BATTEN CLADDING
LWC2	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
LWC3	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LWC4	ZINC FEATURE CLADDING
LWC5	TILE FEATURE CLADDING
DS	DRESSED STONE
ABBREVIATIONS	
BAL	BALUSTRADE - 1000mm HIGH MIN.
DEB	DROP EDGE BEAM TO ENGINEER'S DETAIL
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100 DIAMETER
EXHW	EXHAUST VENT TO WALL
EXHE	EXHAUST VENT TO EAVE
EXHR	EXHAUST VENT TO ROOF
FXL	FINISHED GROUND LINE
GM	GAS METER
GD	GARAGE DOOR
BAL	BALUSTRADE
IMWU	INSTANTANEOUS GAS HOT WATER UNIT
MB	METER BOX
MR	METAL ROOF - PITCH AS NOTED
NGL	NATURAL GROUND LINE
OIA FASCIA	OVERALL LEAVE DIMENSION INCLUDING FASCIA
TP	TIMBER POST - SIZE AS NOTED
TP-120	TIMBER POST - 120x120mm
TR	TILED ROOF - PITCH AS NOTED
PS	PERGOLA TO DETAIL
VJ	VERTICAL JOINT
WCL	WALL MOUNTED CLOTHES LINE
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NBN	NATIONAL BROADBAND NETWORK
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ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	

**Certificate No. # 4DJ1Y8PLB8**
Scan QR code or follow website link for rating details.

Assessor name
Accreditation No.
Property Address

Claude-Francois Sookioli
DMN/14/1662
7A-092, Lot 7A-092 (#56)
Prescot Parade MILPERRA
2214, NSW, 2214



<https://www.frs.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>

0mm | 0mm

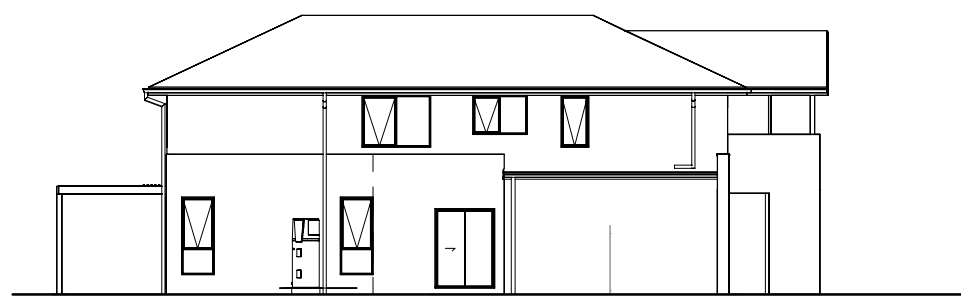
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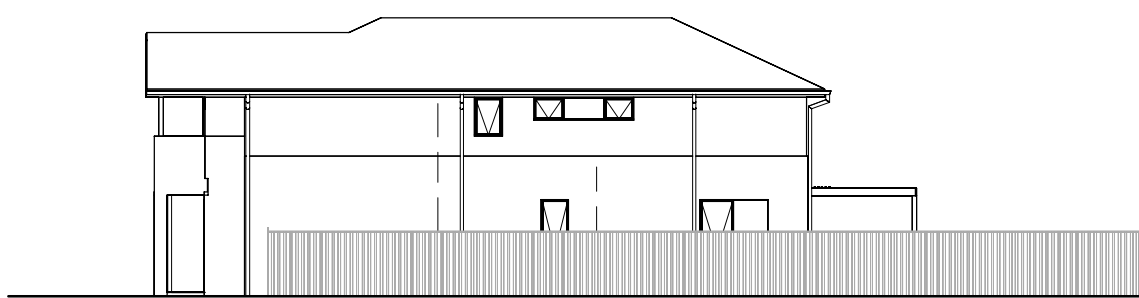
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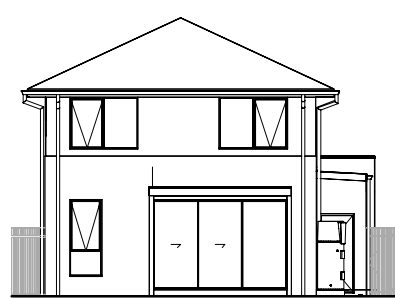
1 LOT 7A-081 FRONT ELEVATION



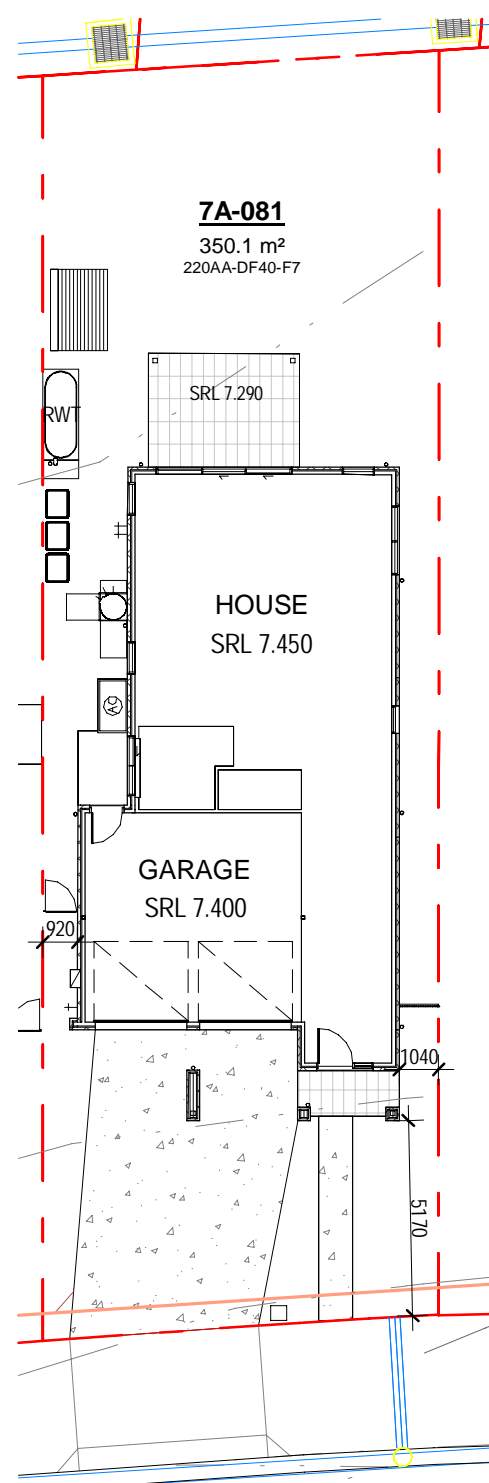
2 LOT 7A-081 SIDE ELEVATION



3 LOT 7A-081 SIDE ELEVATION



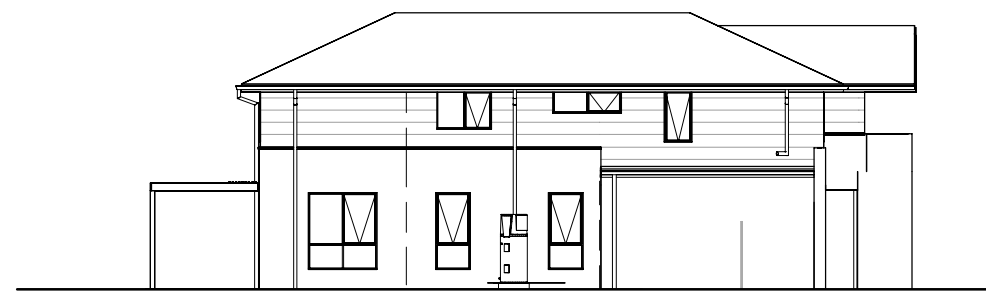
4 LOT 7A-081 REAR ELEVATION



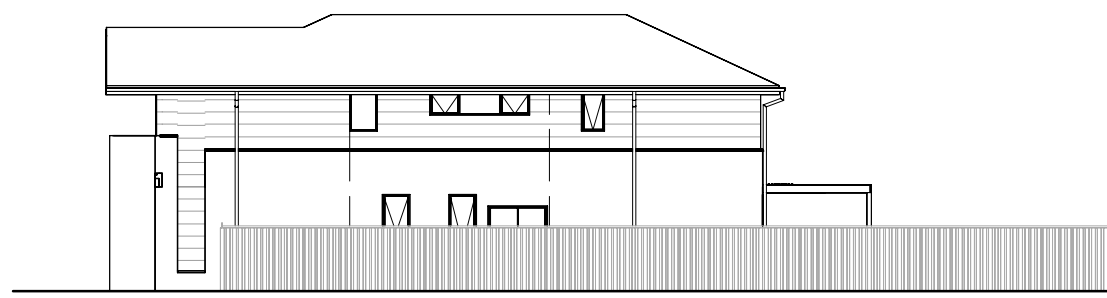
5 LOT 7A-081 NOTIFICATION PLAN



6 LOT 7A-082 FRONT ELEVATION



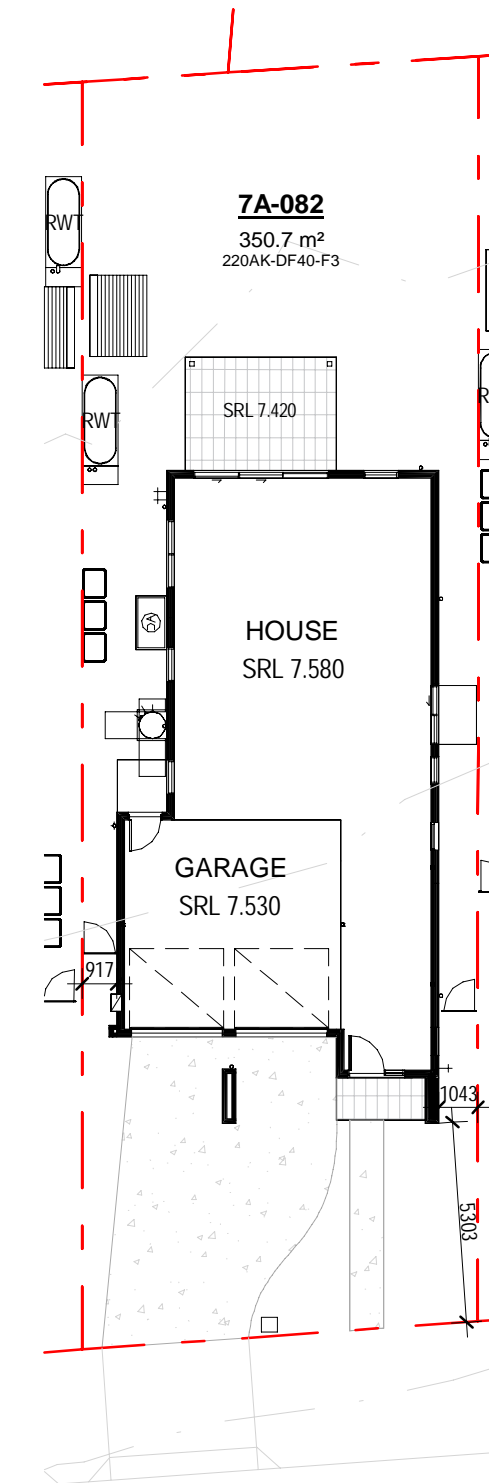
7 LOT 7A-082 SIDE ELEVATION



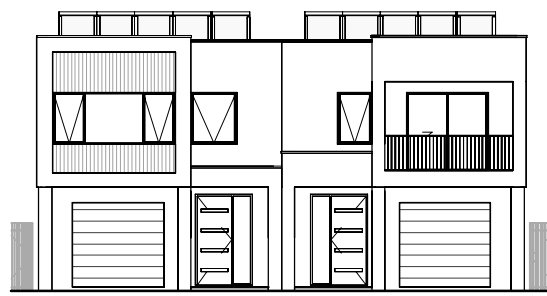
8 LOT 7A-082 SIDE ELEVATION



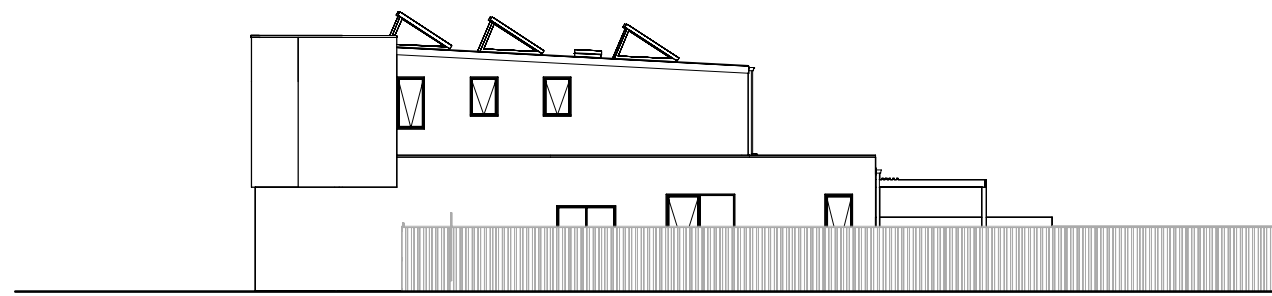
9 LOT 7A-082 REAR ELEVATION



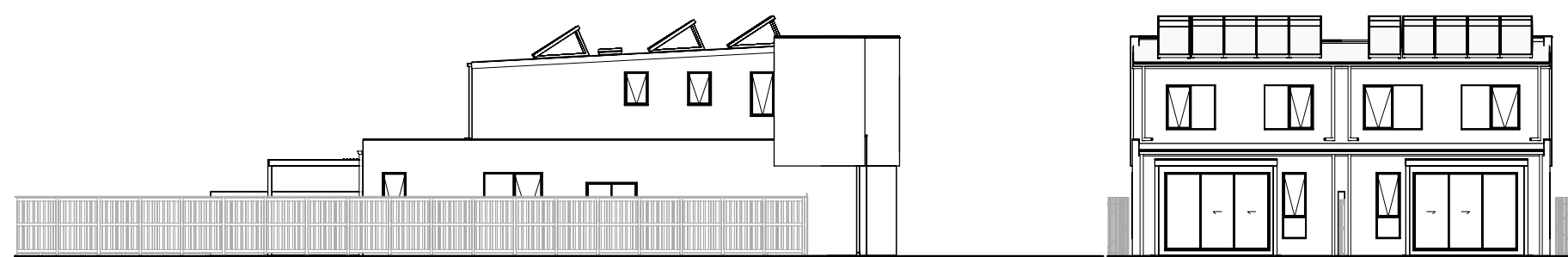
10 LOT 7A-082 NOTIFICATION PLAN



11 LOT 7A-091-092 REAR ELEVATION



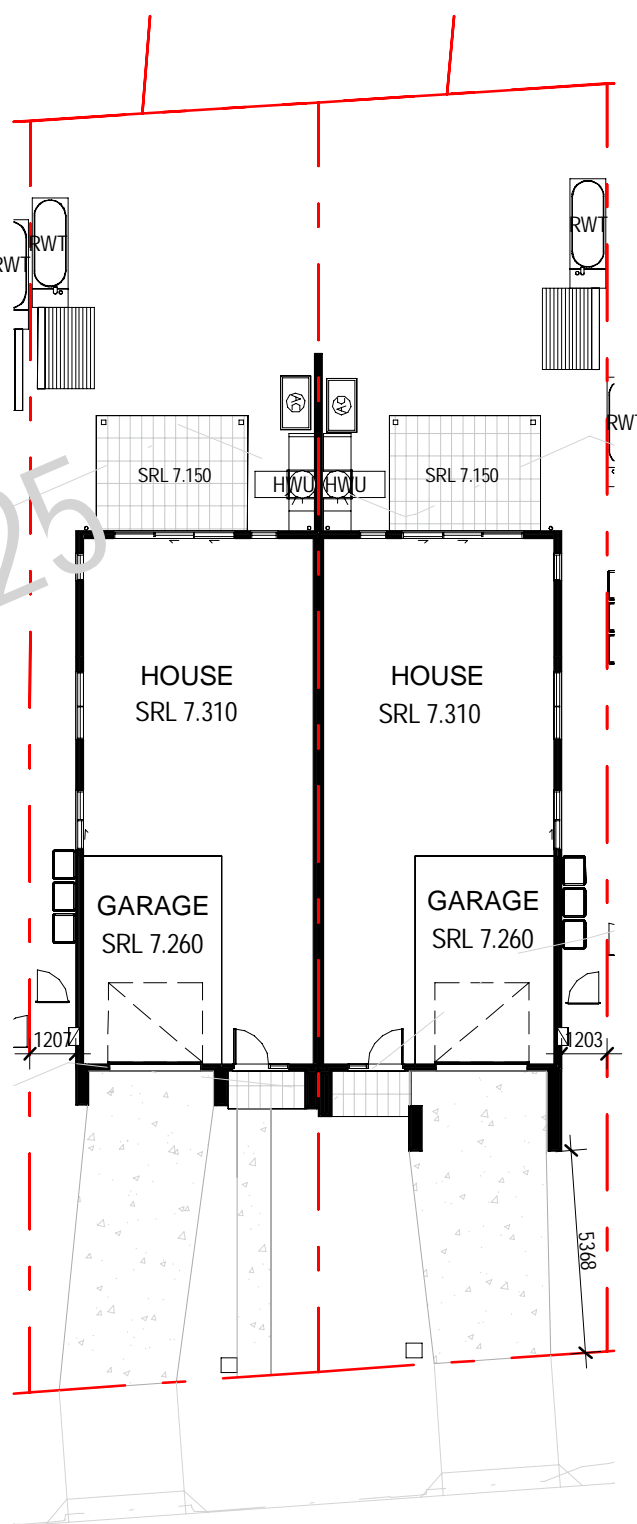
12 LOT 7A-091 SIDE ELEVATION



13 LOT 7A-092 SIDE ELEVATION



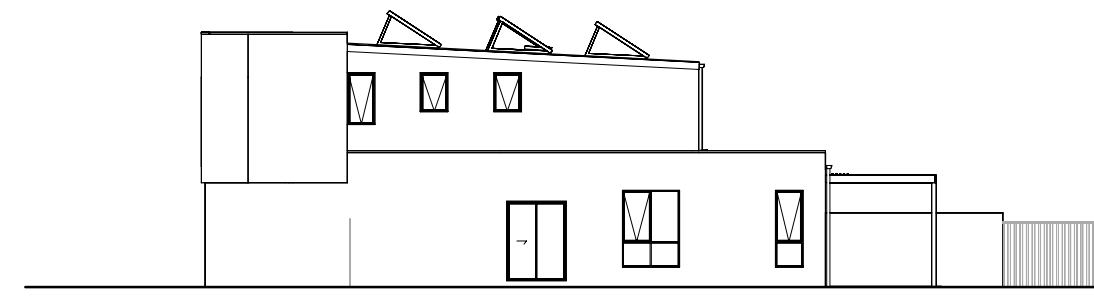
14 LOT 7A-091-092 FRONT ELEVATION



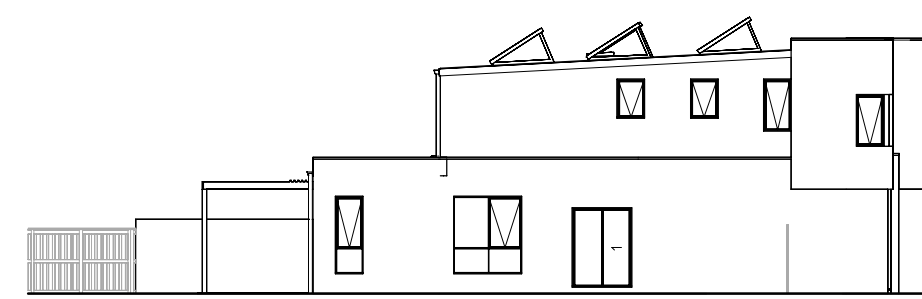
15 LOT 7A-091-092 NOTIFICATION PLAN



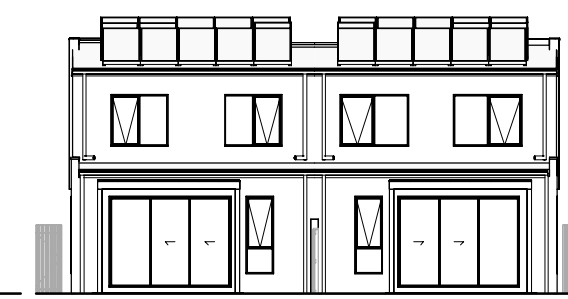
16 LOT 7A-101-102 FRONT ELEVATION



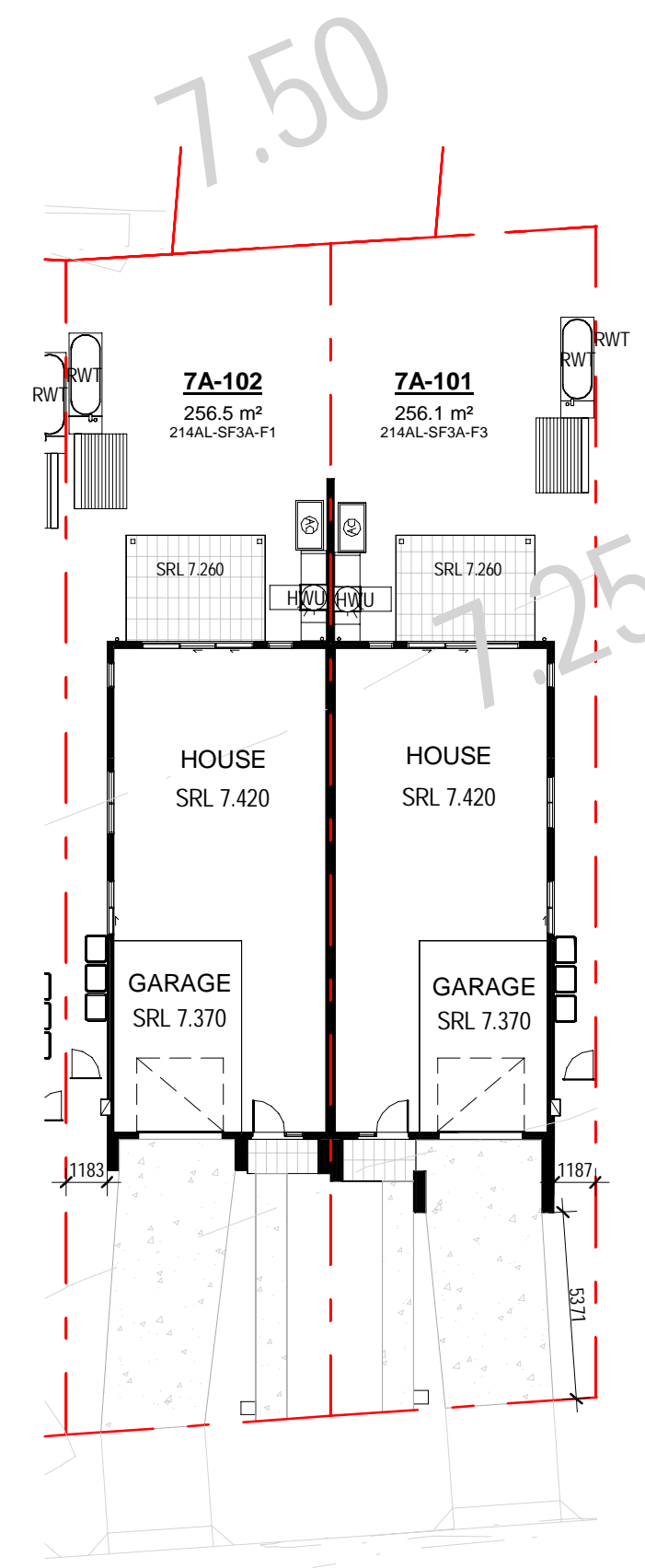
17 LOT 7A-101 SIDE ELEVATION



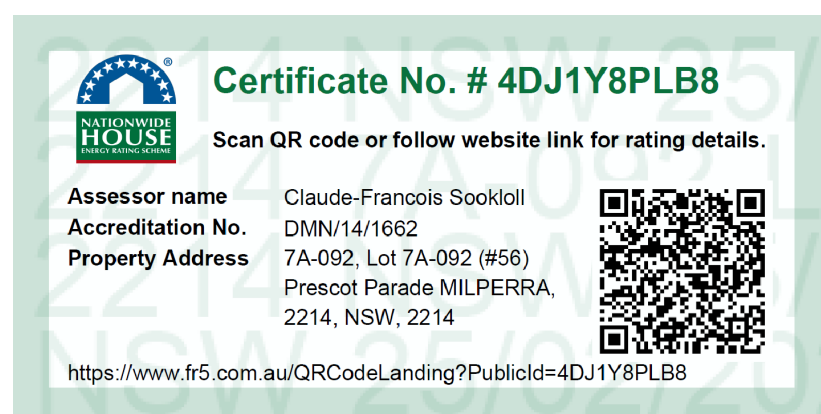
18 LOT 7A-102 SIDE ELEVATION



19 LOT 7A-101-102 REAR ELEVATION



20 LOT 7A-101-102 NOTIFICATION PLAN



28.02.25
31.01.25
date

B
A
rev

ISSUE FOR DA SUBMISSION
ISSUE FOR BASIX ASSESSMENT

amendment

MIRVAC DESIGN
Level 18, 108 George St
Sydney NSW 2000
Tel: 02 9250 8800
www.mirvacdesign.com.au

Mirvac Design Pty Ltd
ABN 76 001 199 111
Mirvac Design Nominees / Responsible Architects:
Alicia Verrini, Michael Weller, David King, Andrew La
http://www.mirvacdesign.com/nominees_and_architects

client
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescott Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
NEIGHBOURING NOTIFICATION PLANS

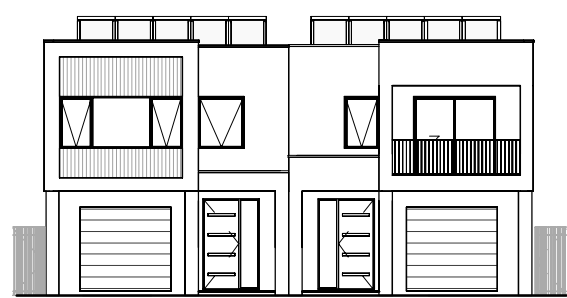
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drawing no: 290

date: 28.02.25

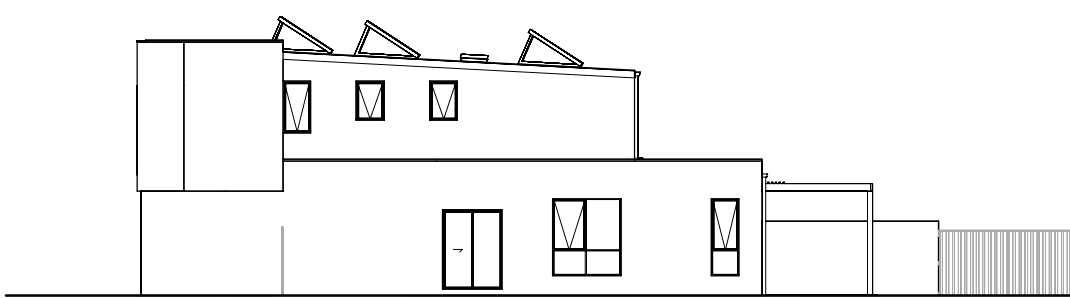
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rev: B

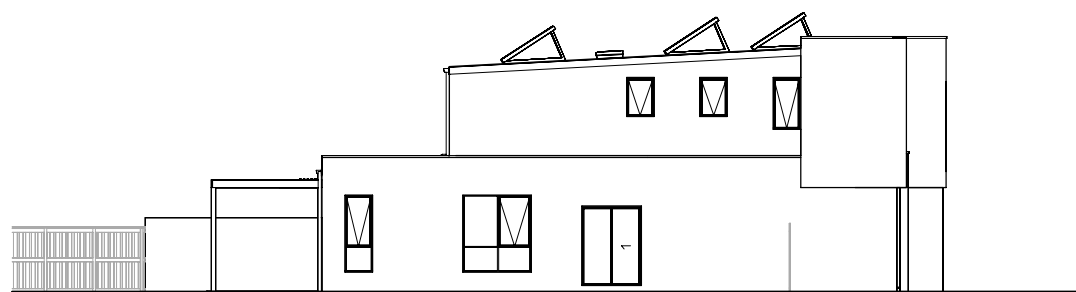
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1 LOT 7A-111-112 FRONT ELEVATION



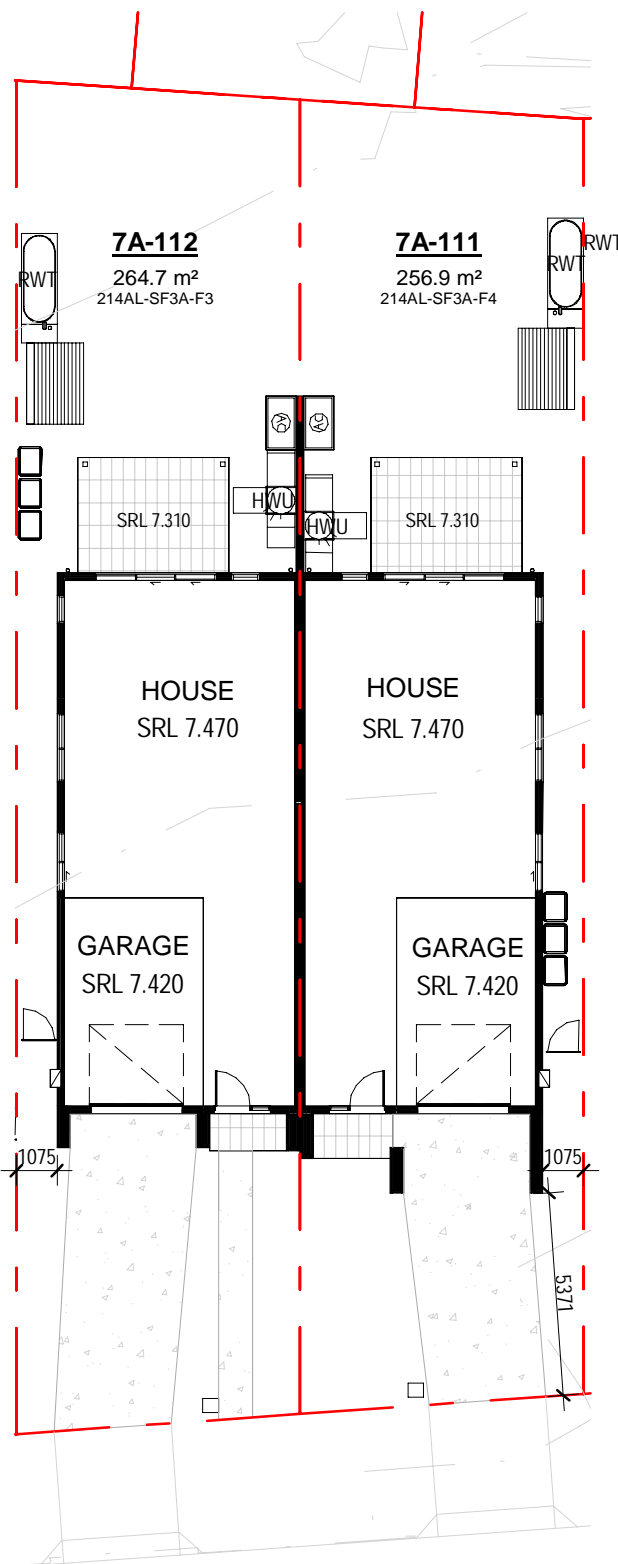
2 LOT 7A-111 SIDE ELEVATION



3 LOT 7A-112 SIDE ELEVATION



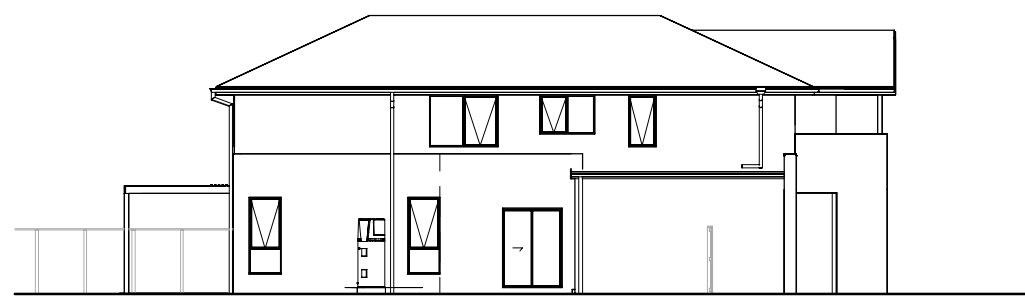
4 LOT 7A-111-112 REAR ELEVATION



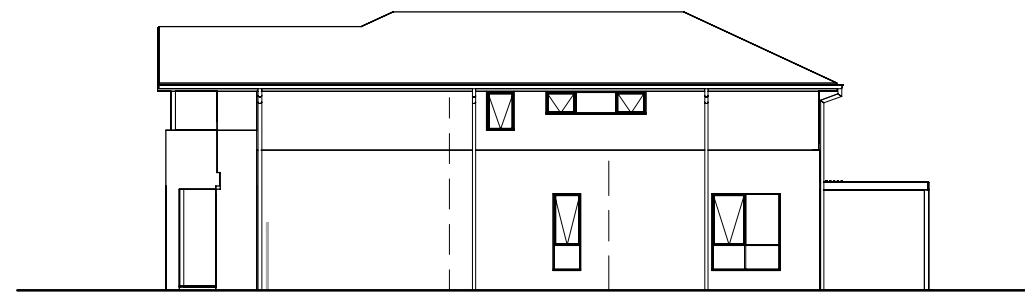
5 LOT 7A-111-112 NOTIFICATION PLAN



6 LOT 7A-121 FRONT ELEVATION



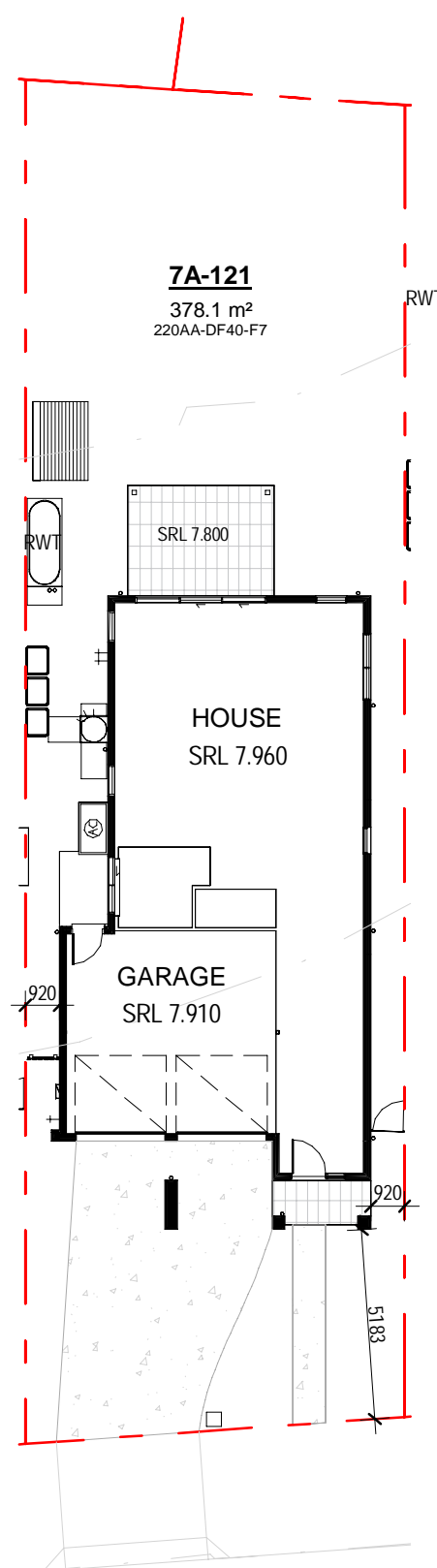
7 LOT 7A-121 SIDE ELEVATION



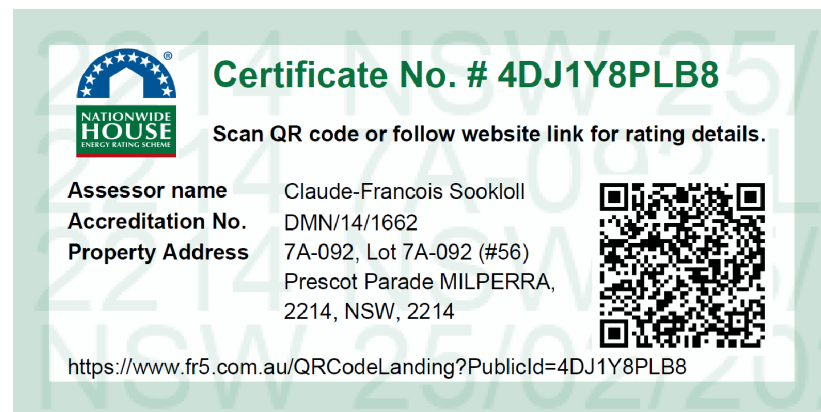
8 LOT 7A-121 SIDE ELEVATION



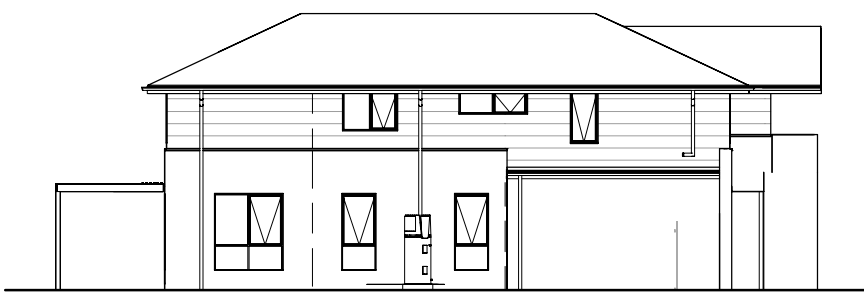
9 LOT 7A-121 REAR ELEVATION



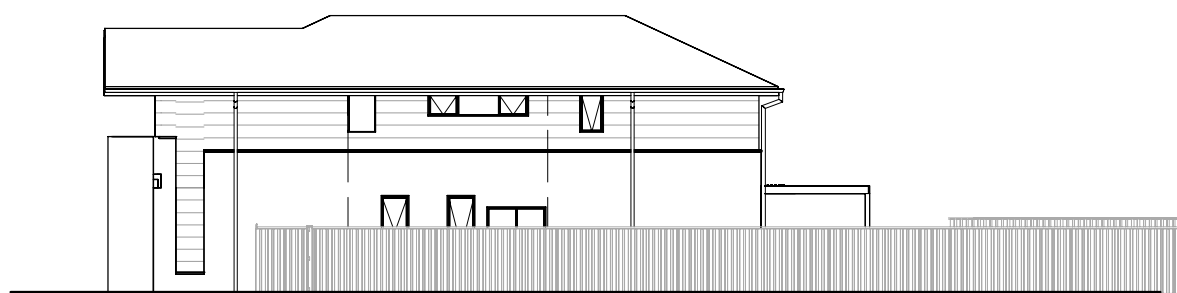
10 LOT 7A-121 NOTIFICATION PLAN



11 LOT 7A-122 FRONT ELEVATION



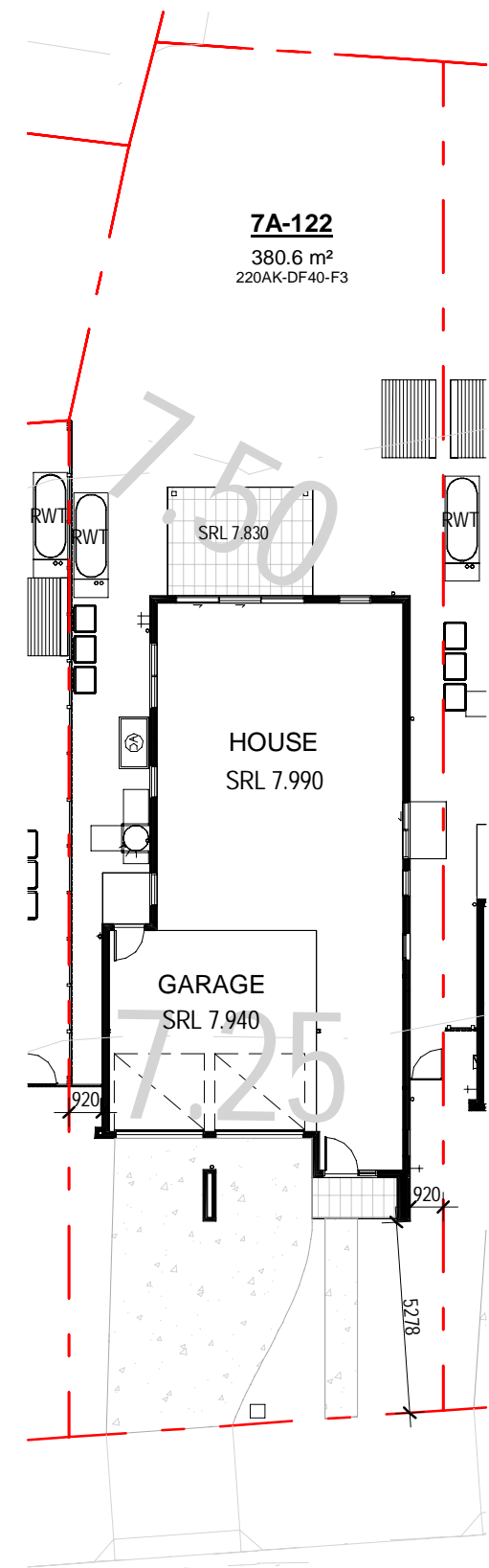
12 LOT 7A-122 SIDE ELEVATION



13 LOT 7A-122 SIDE ELEVATION



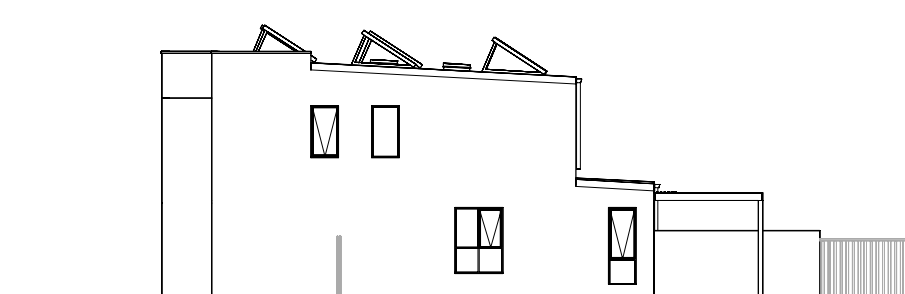
14 LOT 7A-122 REAR ELEVATION



15 LOT 7A-122 NOTIFICATION PLAN



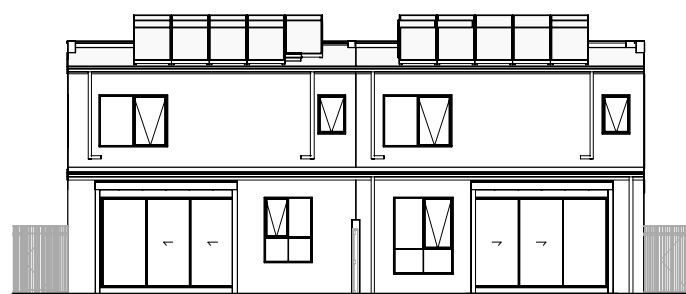
16 LOT 7A-131-132 FRONT ELEVATION



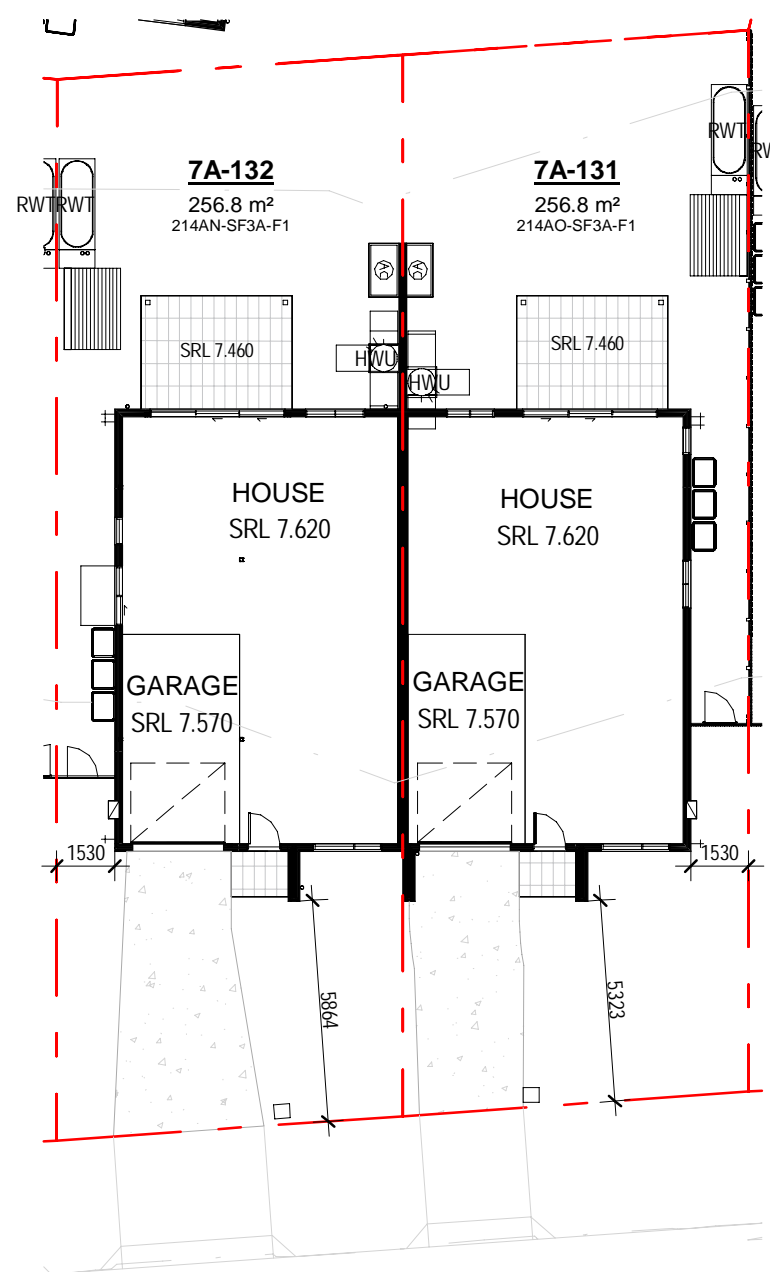
17 LOT 7A-131 SIDE ELEVATION



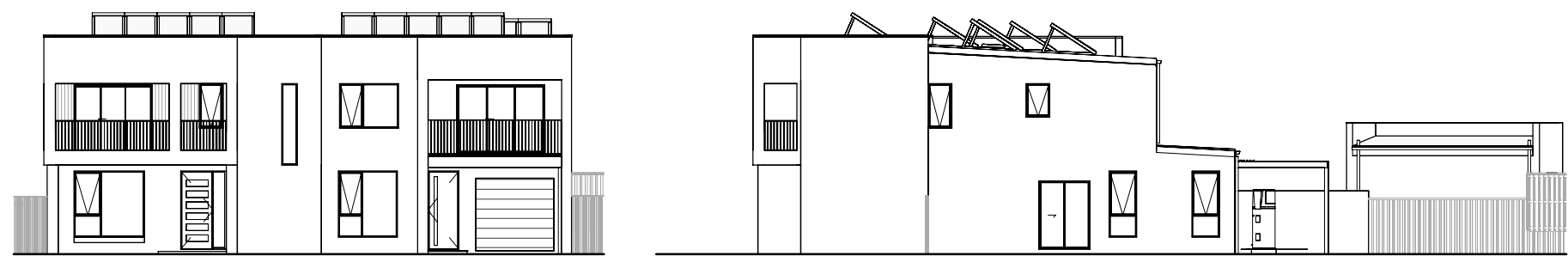
18 LOT 7A-132 SIDE ELEVATION



20 LOT 7A-131-132 REAR ELEVATION

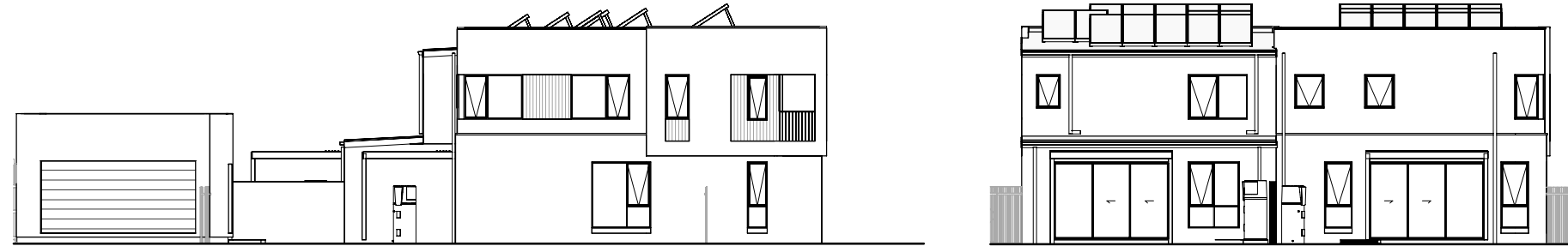


19 LOT 7A-131-132 NOTIFICATION PLAN



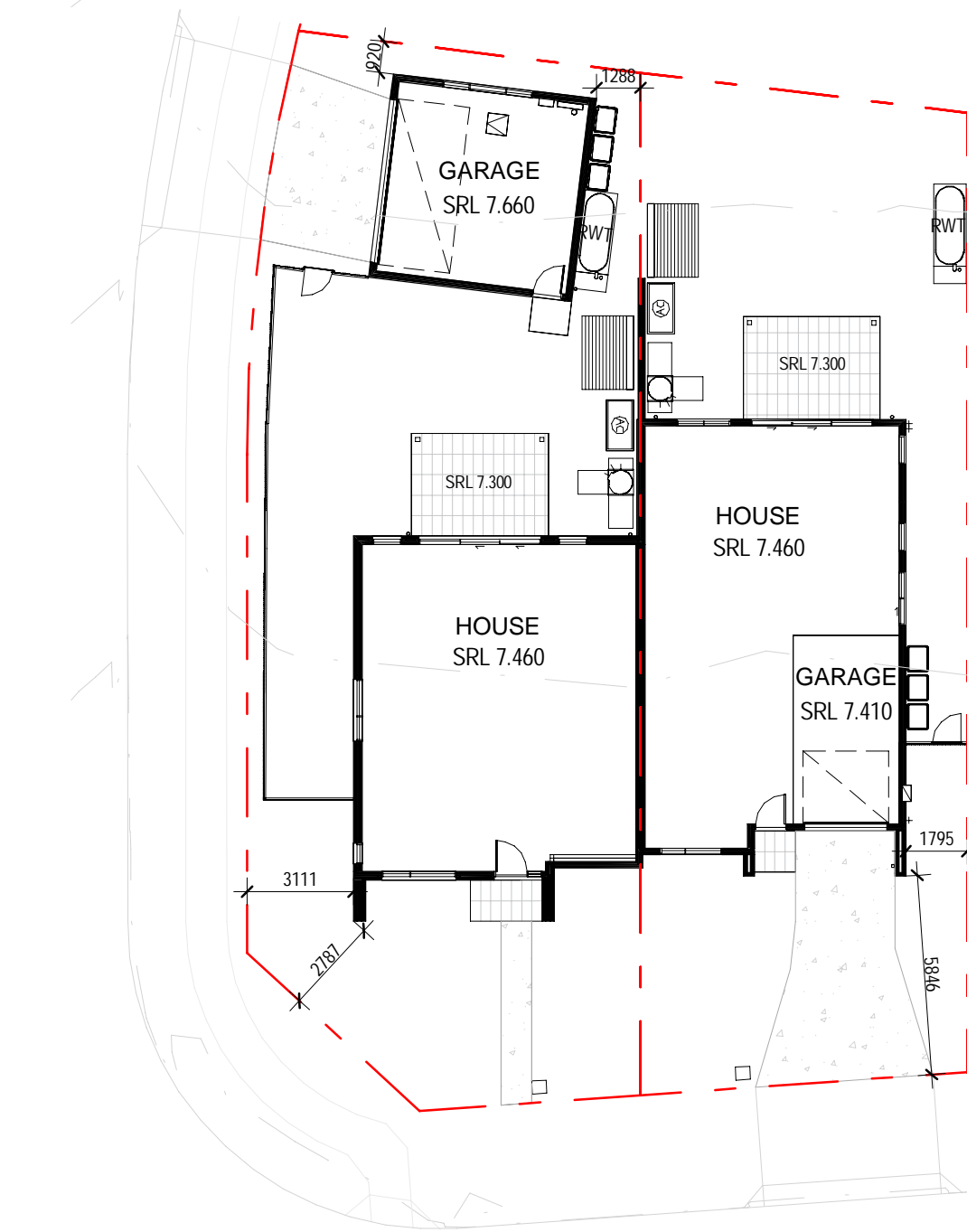
1 DA LOT 142-141 FRONT ELEVATION-

2 DA LOT 141 SIDE ELEVATION-

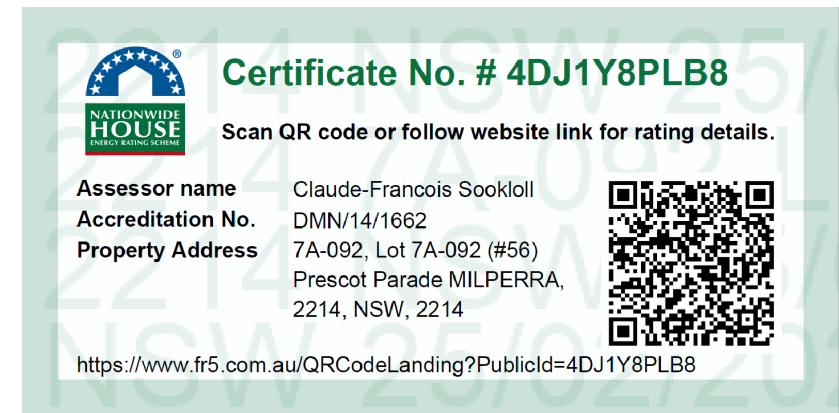


3 DA LOT 142 SIDE ELVATION-

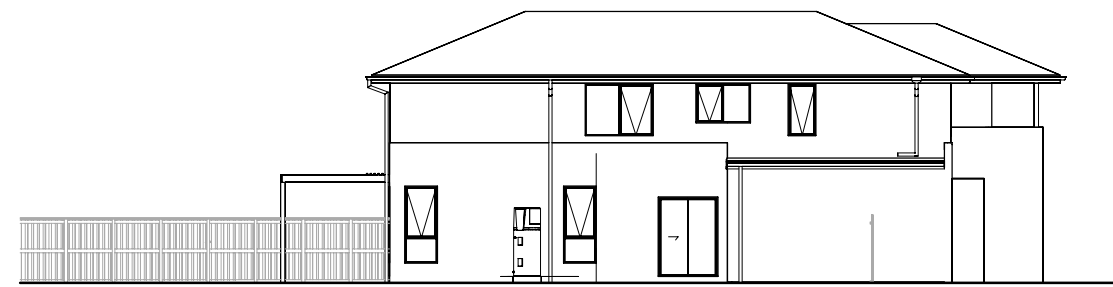
4 DA LOT 142-141 REAR ELEVATION-



5 LOT 7A-141-142 NOTIFICATION PLAN



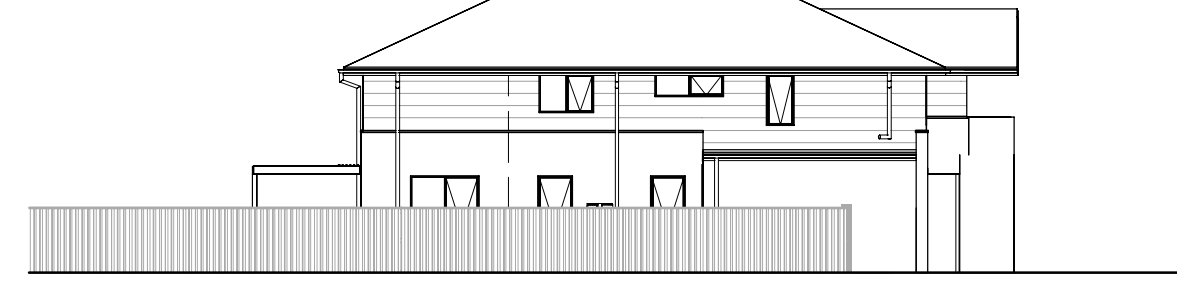
6 DA LOT 151 FRONT ELEVATION



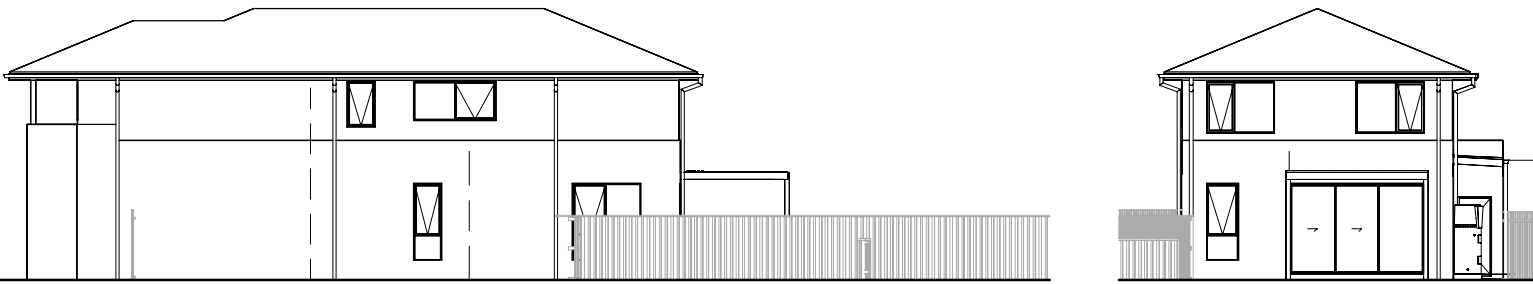
7 DA LOT 151 SIDE A ELEVATION



11 DA LOT 152 FRONT ELEVATION-

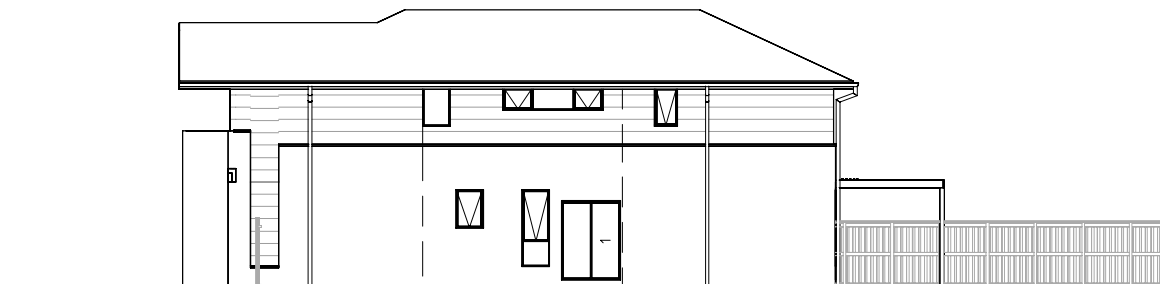


12 DA LOT 152 SIDE A ELEVATION-



8 DA LOT 151 SIDE B ELEVATION

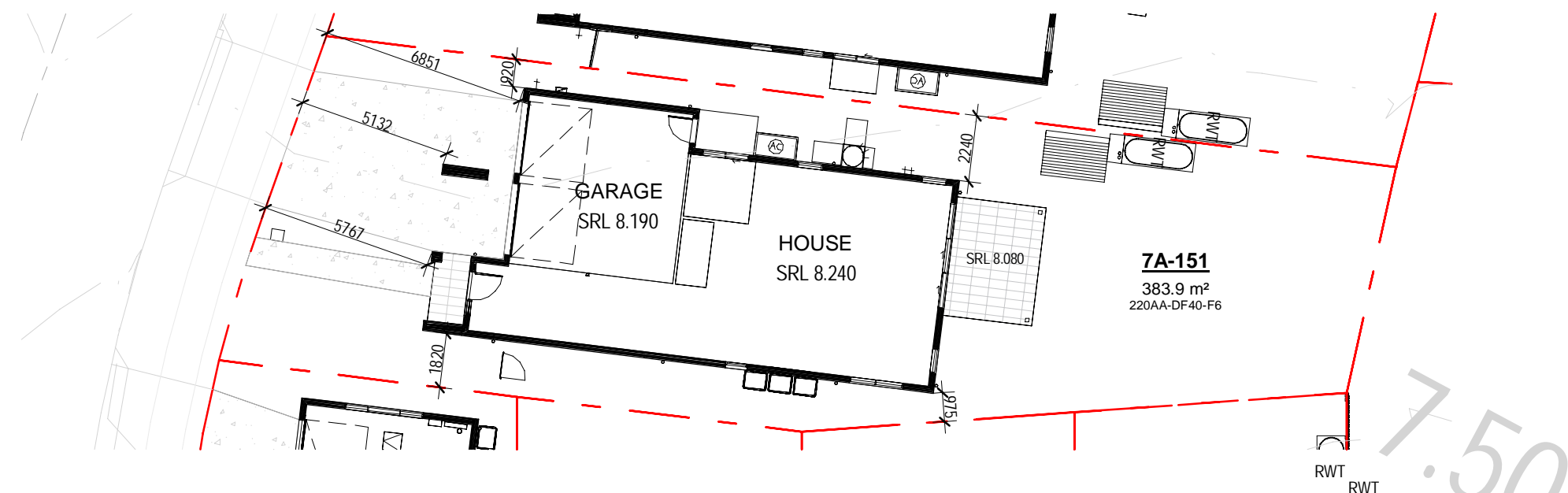
9 DA LOT 151 REAR LEVATION



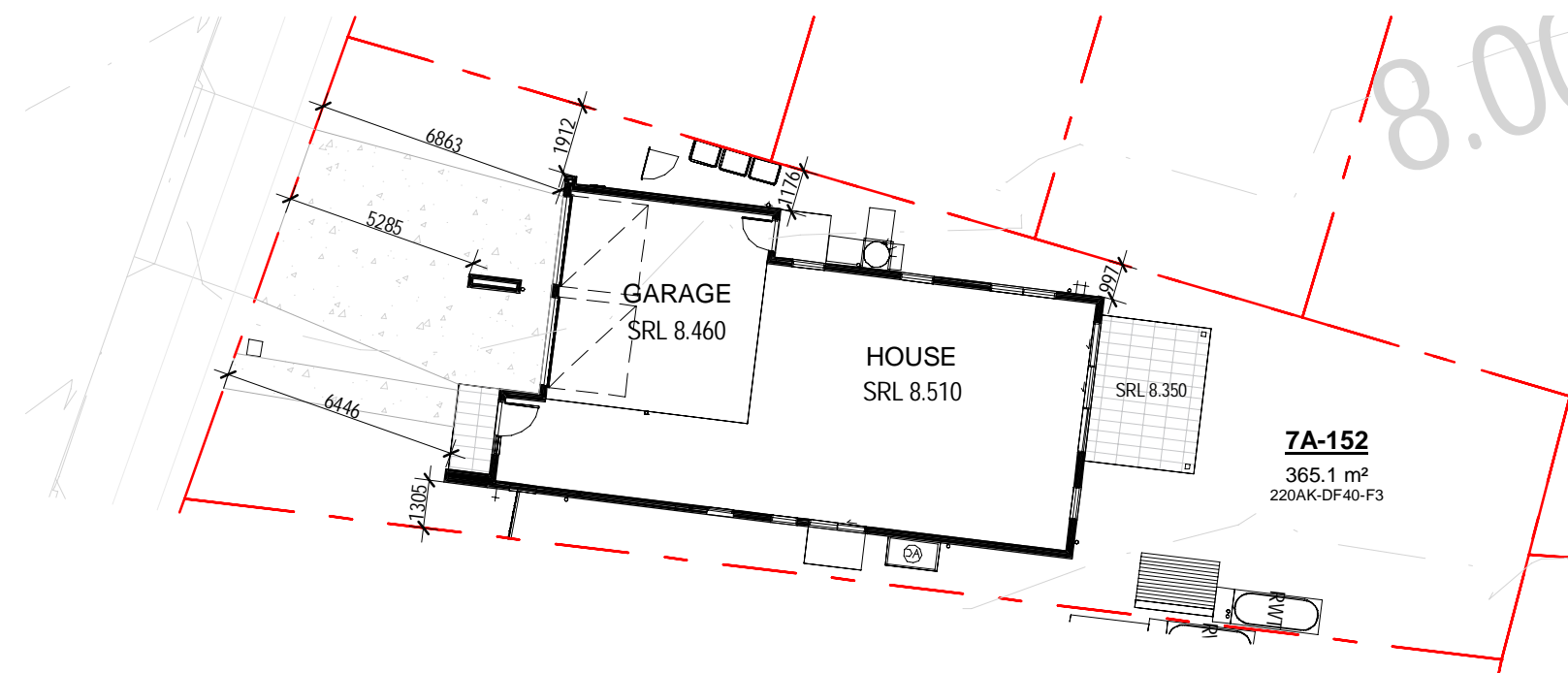
13 DA LOT 152 SIDE B ELEVATION-



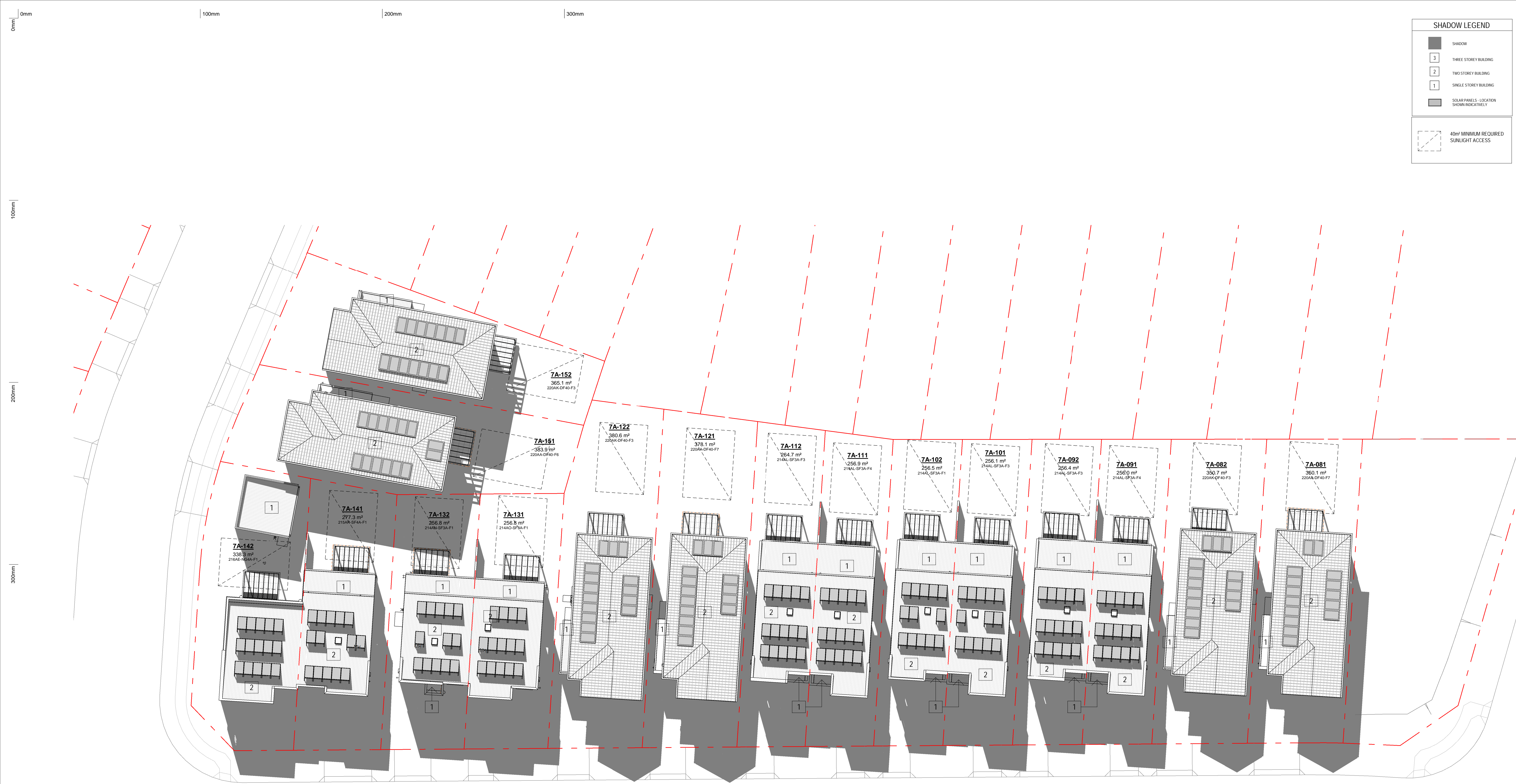
14 DA LOT 152 REAR ELEVATION -



10 LOT 7A-151 NOTIFICATION PLAN



11 LOT 7A-152 NOTIFICATION PLAN



SHADOW LEGEND

SHADOW

3

THREE STOREY BUILDING

2

TWO STOREY BUILDING


1

SINGLE STOREY BUILDING

SOLAR PANELS - LOCATION SHOWN INDICATIVELY

40m² MINIMUM REQUIRED SUNLIGHT ACCESS

1 SHADOW DIAGRAM 9AM



Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

https://www.fr5.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8


Claude-Francois Sooklill

DMN/14/1662

7A-092, Lot 7A-092 (W56)

Prescot Parade MILPERRA

2214, NSW, 2214



28.02.25	B	ISSUE FOR DA SUBMISSION	
31.01.25	A	ISSUE FOR BASK ASSESSMENT	
	rev		amendment

MIRVAC DESIGN

Level 18, 108 George St
Sydney NSW 2000
Tel: 02 9460 8800

Mirvac Design Pty Ltd
ABN 76 001 191 113

Mirvac Design Nominees / Responsible Architects:
Aislinn Venn, Michael Weller, David Hogg, Andrew La
http://www.mirvacdesign.com/nominees_and_bccs

client



project:

RIVERLANDS - MILPERRA

56 Prescot Parade, Milperra NSW 2214

stage: 01

site: 7A

title:

SHADOW PLAN 22 SEPT - 9AM

job no: MB-10245

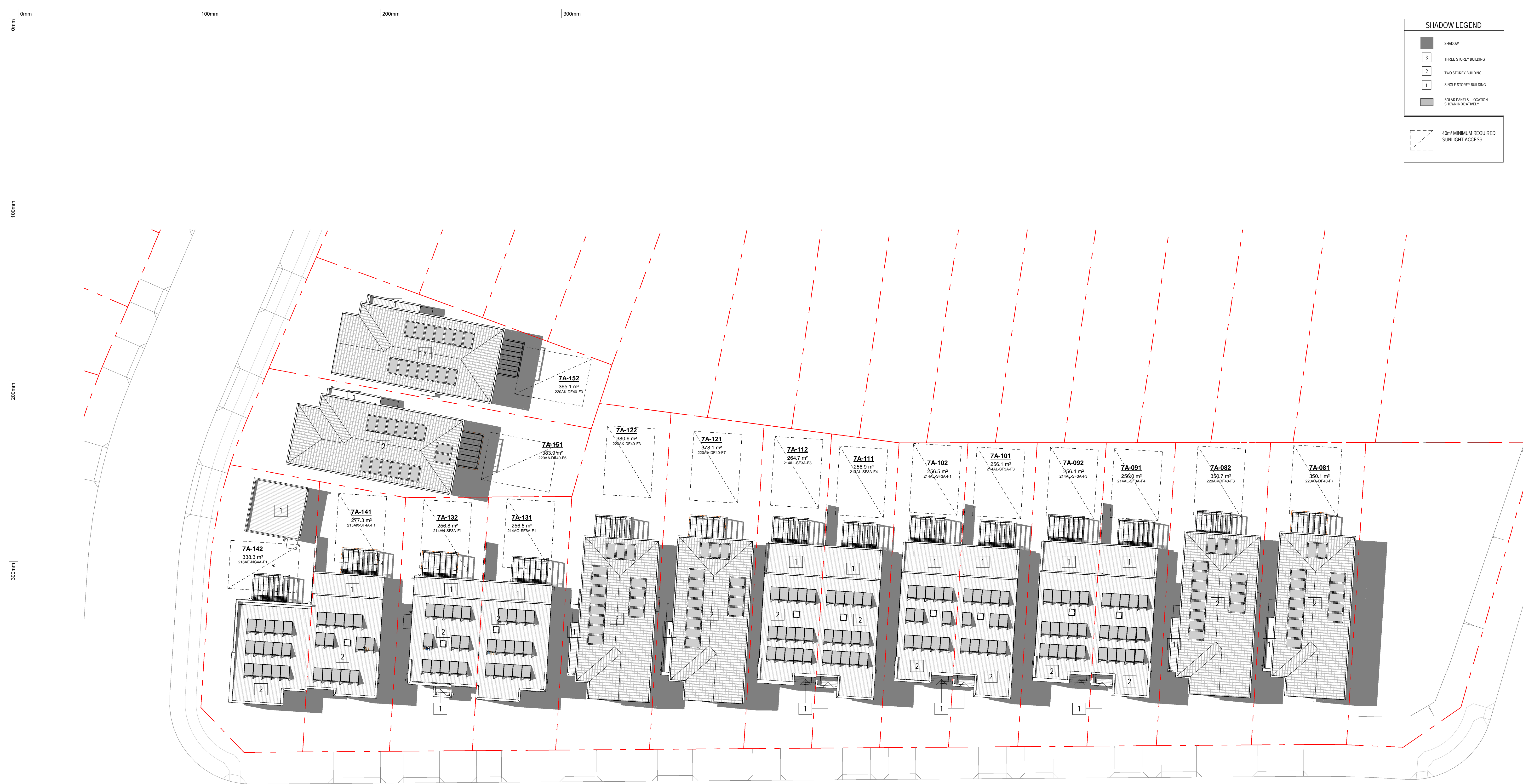
drawing no: 401

date: 28.02.25

scale @ A1: As indicated

rev. B

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1 SHADOW DIAGRAM 12NOON

Certificate No. # 4DJ1Y8PLB8
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Assessor name: Claude-François Sooklill
Accreditation No.: DMN/14/1662
Property Address: 7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214

<https://www.frs.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>

28.02.25
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date

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ISSUE FOR BASK ASSESSMENT

amendment

MIRVAC DESIGN
Level 18, 108 George St
Sydney NSW 2000
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Mirvac Design Pty Ltd
480-500, 108 George St
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Mirvac Design Nominees / Responsible Architects:
Asha Verma, Michael Weller, David Hogg, Andrew La
http://www.mirvacdesign.com/nominees_and_architects

client:

mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
SHADOW PLAN 22 SEPT - 12NOON

job no: MB-10245
drawing no: 402

date: 28.02.25

scale @ A1: As indicated

rev: B

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0mm

100mm

200mm

300mm

SHADOW LEGEND

- SHADOW
- 3 THREE STOREY BUILDING
- 2 TWO STOREY BUILDING
- 1 SINGLE STOREY BUILDING
- SOLAR PANELS - LOCATION SHOWN INDICATIVELY

40m² MINIMUM REQUIRED SUNLIGHT ACCESS

100mm

200mm

300mm

2 SHADOW DIAGRAM 3PM

Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name: Claude-Francois Sookioli
Accreditation No.: DMN/14/1662
Property Address: 7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214

<https://www.frs.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>

28.02.25
31.01.25
date

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ISSUE FOR DA SUBMISSION
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amendment

MIRVAC DESIGN
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Sydney NSW 2000
Tel: 02 9860 8800
Mirvac Design Pty Ltd
ABN 76 001 191 133
Mirvac Design Nominees / Responsible Architects:
Aislinn Venn, Michael Weller, David Hogg, Andrew La
http://www.mirvacdesign.com/nominees_and_bccs

client:
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
SHADOW PLAN 22 SEPT - 3PM

job no: MB-10245
drawing no: 403

date: 28.02.25

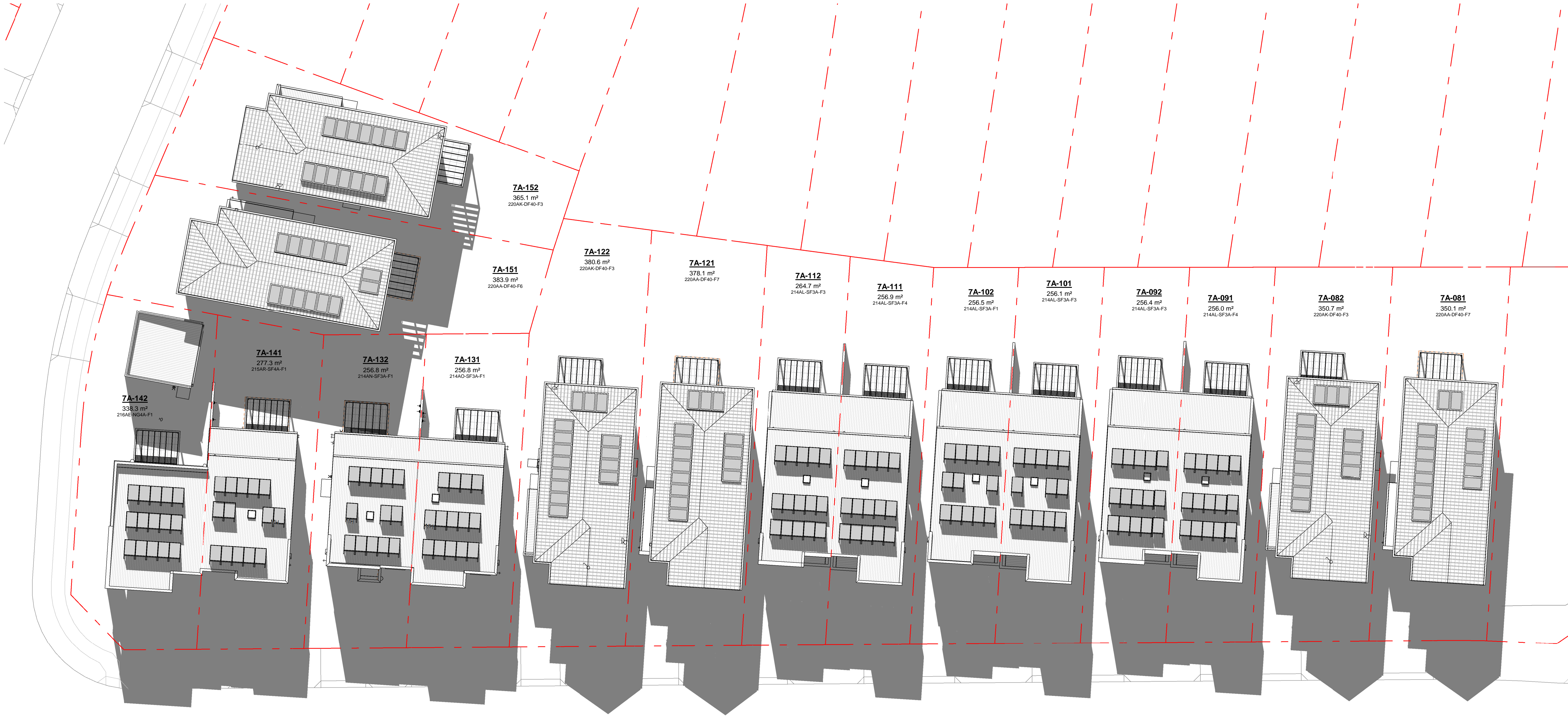
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SOLAR COVERAGE IN PPOS											
Lot Number	House Model	9AM	10AM	11AM	12 NOON	1pm	2PM	3PM	4PM	5PM	Solar Compliance*
7A-081	220AA-DF40-F7	111.1 m²	111.1 m²	111.1 m²	111.1 m²	102.45 m²	90.9 m²	100.7 m²	55.8 m²	111.1 m²	Yes
7A-082	220AK-DF40-F3	111.1 m²	111.1 m²	111.1 m²	111.1 m²	101.78 m²	90.4 m²	100.5 m²	57.3 m²	111.1 m²	Yes
7A-091	214AL-SF3A-F4	88.4 m²	88.4 m²	88.4 m²	88.4 m²	83.40 m²	76.7 m²	81.2 m²	48.9 m²	88.4 m²	Yes
7A-092	214AL-SF3A-F3	84.6 m²	84.6 m²	84.6 m²	84.6 m²	84.59 m²	76.1 m²	79.9 m²	57.2 m²	84.6 m²	Yes
7A-101	214AL-SF3A-F3	88.9 m²	88.9 m²	88.9 m²	88.9 m²	83.92 m²	77.2 m²	81.8 m²	49.3 m²	88.9 m²	Yes
7A-102	214AL-SF3A-F1	85.1 m²	85.1 m²	85.1 m²	85.1 m²	81.80 m²	76.7 m²	80.4 m²	57.0 m²	85.1 m²	Yes
7A-111	214AL-SF3A-F4	92.0 m²	92.0 m²	92.0 m²	92.0 m²	92.00 m²	80.6 m²	84.4 m²	53.2 m²	92.0 m²	Yes
7A-112	214AL-SF3A-F3	95.8 m²	95.8 m²	95.8 m²	95.8 m²	92.30 m²	87.4 m²	90.9 m²	69.1 m²	95.8 m²	Yes
7A-121	220AA-DF40-F7	142.2 m²	142.2 m²	142.2 m²	142.2 m²	133.18 m²	122.0 m²	131.9 m²	89.0 m²	142.2 m²	Yes
7A-122	220AK-DF40-F3	144.2 m²	144.2 m²	144.2 m²	144.2 m²	135.08 m²	124.2 m²	133.4 m²	89.0 m²	144.2 m²	Yes
7A-131	214AO-SF3A-F1	87.9 m²	87.9 m²	87.9 m²	87.9 m²	84.18 m²	74.9 m²	82.0 m²	28.4 m²	87.9 m²	Yes
7A-132	214AN-SF3A-F1	30.4 m²	61.0 m²	81.9 m²	81.9 m²	79.08 m²	72.1 m²	77.7 m²	41.4 m²	81.9 m²	Yes
7A-141	215AR-SF4A-F1	37.0 m²	64.9 m²	91.3 m²	91.3 m²	86.50 m²	76.6 m²	83.5 m²	34.5 m²	91.3 m²	Yes
7A-142	216AE-NG4A-F1	58.9 m²	77.3 m²	100.1 m²	90.1 m²	85.14 m²	<varies>	82.7 m²	43.0 m²	100.1 m²	Yes
7A-151	220AA-DF40-F6	77.8 m²	102.0 m²	127.8 m²	91.1 m²	127.80 m²	105.6 m²	89.0 m²	117.5 m²	127.8 m²	Yes
7A-152	220AK-DF40-F3	87.5 m²	93.0 m²	105.4 m²	67.5 m²	84.76 m²	87.5 m²	73.3 m²	98.2 m²	105.4 m²	Yes

* DCP REQUIREMENT :
A MINIMUM OF 50% OF THE PRIVATE OPEN SPACE
REQUIRED FOR THE PRINCIPAL DWELLING ON ADJOINING
LOT TO RECEIVE AT LEAST 3HOURS OF SUNLIGHT BETWEEN
9am AND 5pm AT THE EQUINOX



1 SHADOW ANALYSIS 8.30AM




Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

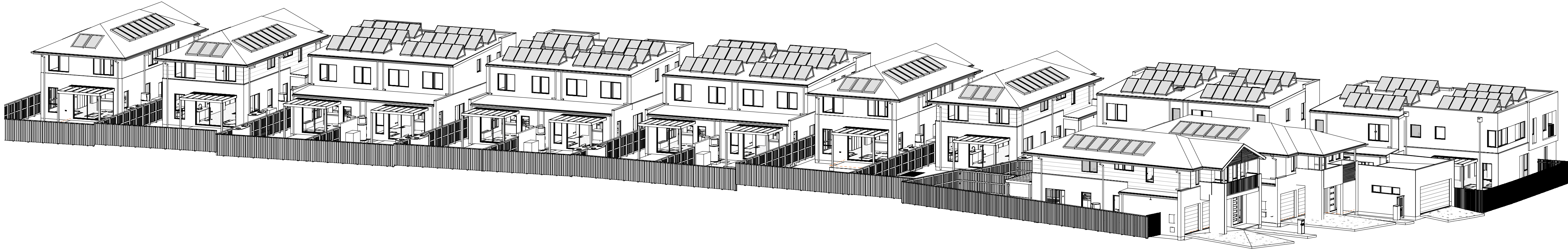
Assessor name
Accreditation No.
Property Address

Claude-Francois Sookioli
DMN/14/1662
7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA,
2214, NSW, 2214



<https://www.frs.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>


DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



1 Sun eye view - 21 Jun - 08_00 AM



2 Sun eye view - 21 Jun - 09_00 AM




Certificate No. # 4DJ1Y8PLB8

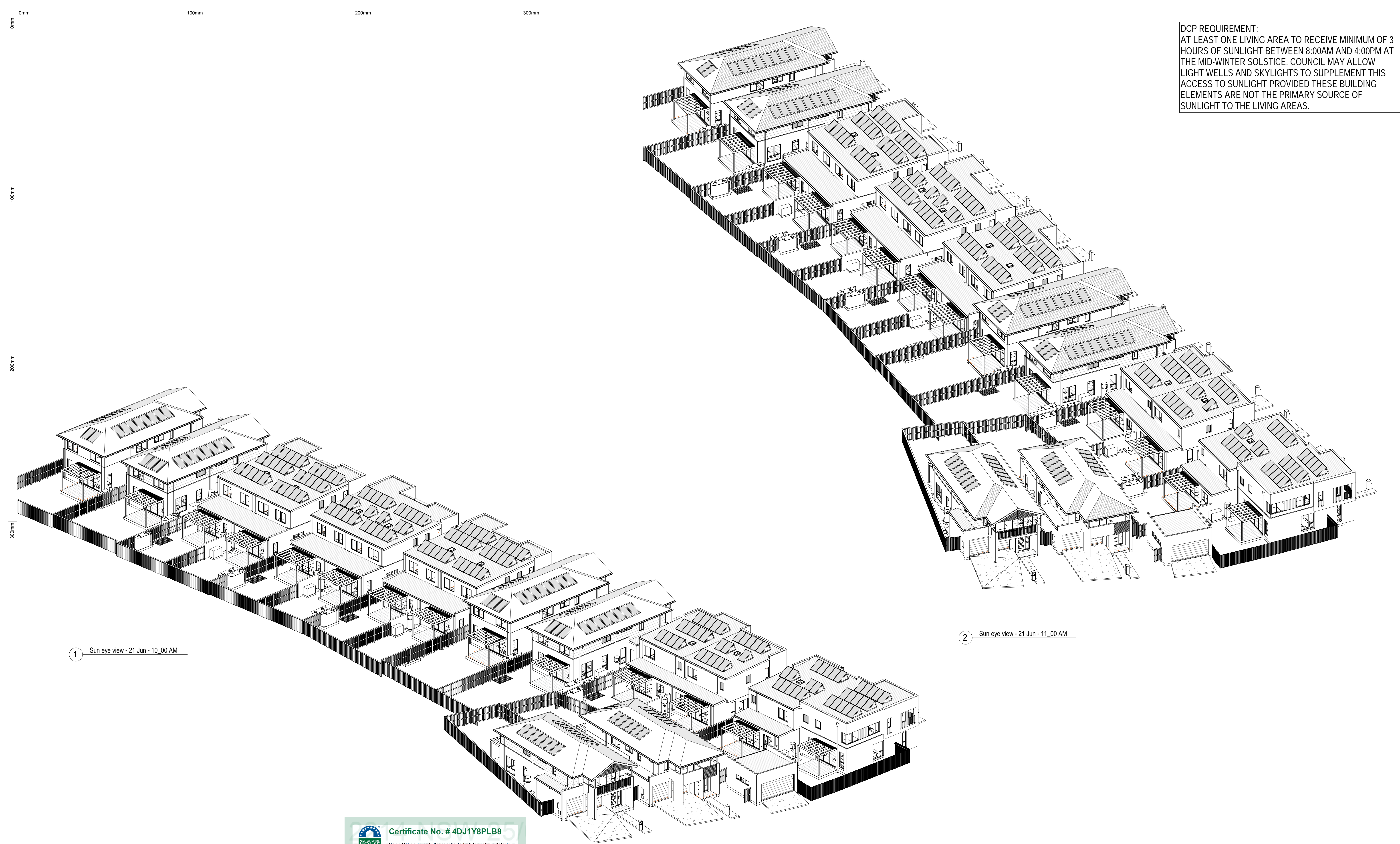
Scan QR code or follow website link for rating details.

Assessor name
Accreditation No.
Property Address

Claude-Francois Sooklill
DMN/14/1662
7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214




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AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.


1 Sun eye view - 21 Jun - 10_00 AM

2 Sun eye view - 21 Jun - 11_00 AM

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Scan QR code or follow website link for rating details.

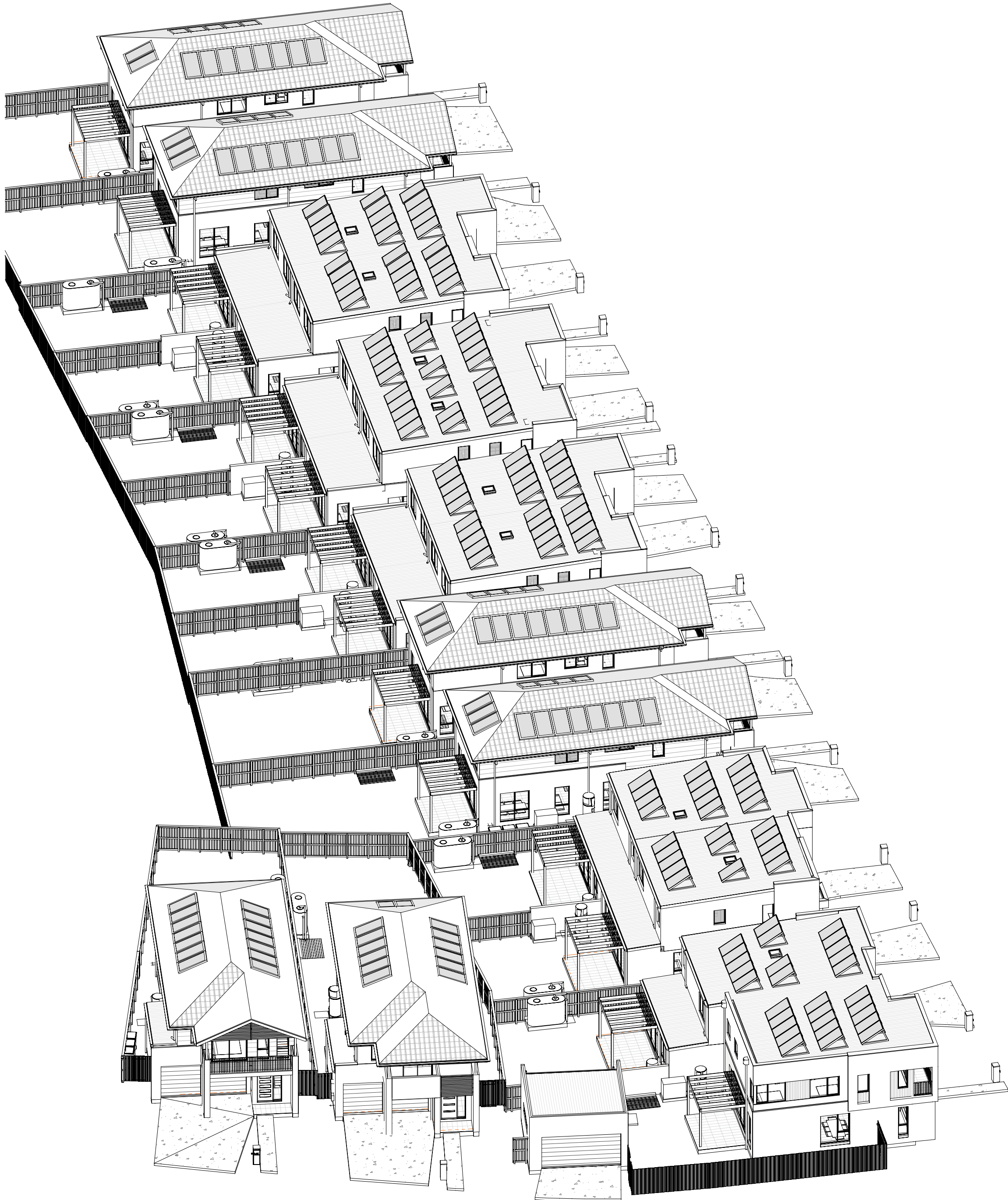
Assessor name
Accreditation No.
Property Address

Claude-Francois Sooklill
DMN/14/1662
7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214

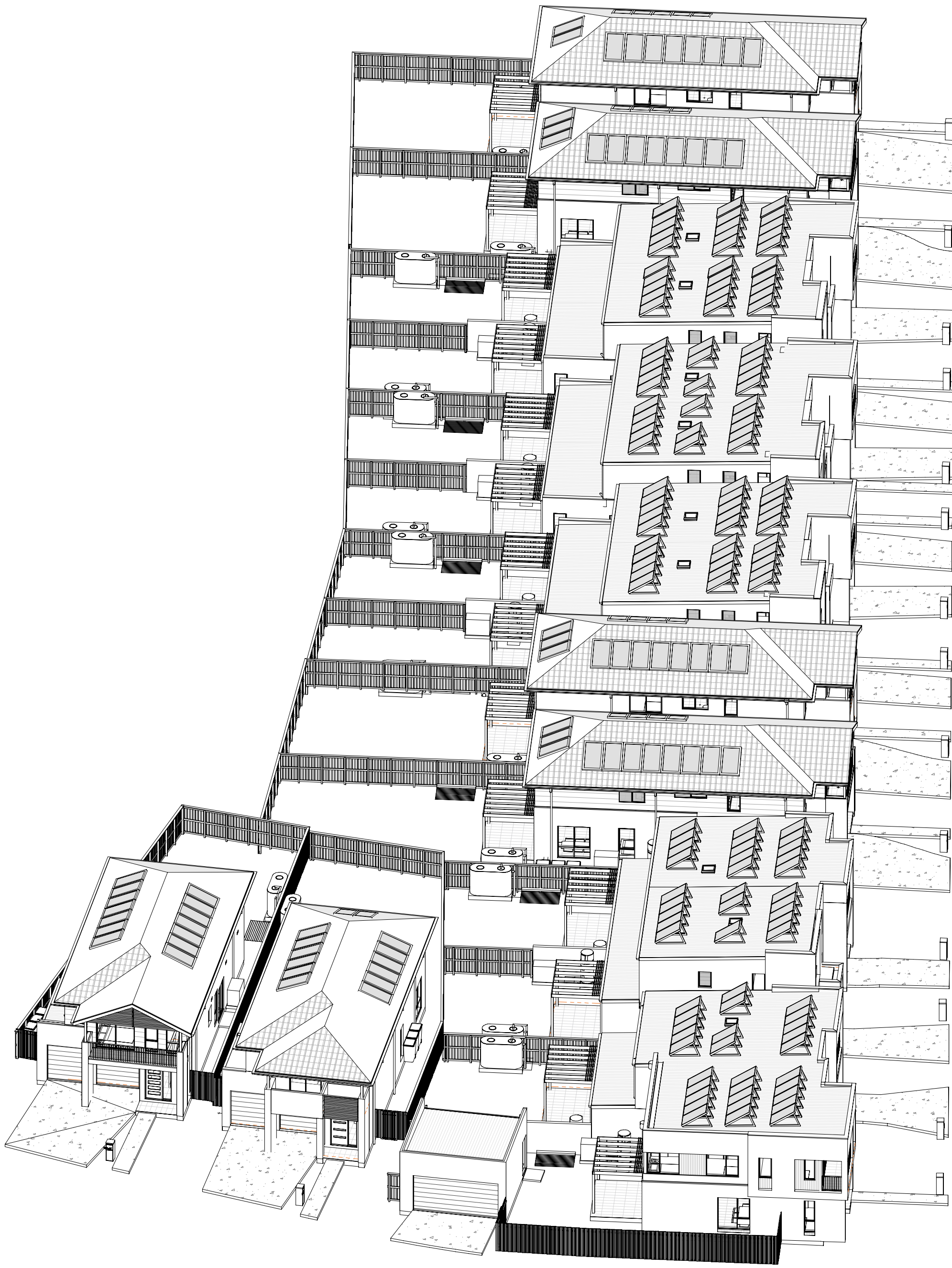


<https://www.frs.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>


DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



1 Sun eye view - 21 Jun - 12_00 PM




2 Sun eye view - 21 Jun - 13_00 PM

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Assessor name
Accreditation No.
Property Address

Claude-Francois Sooklill
DMN/14/1662
7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214


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100mm

200mm

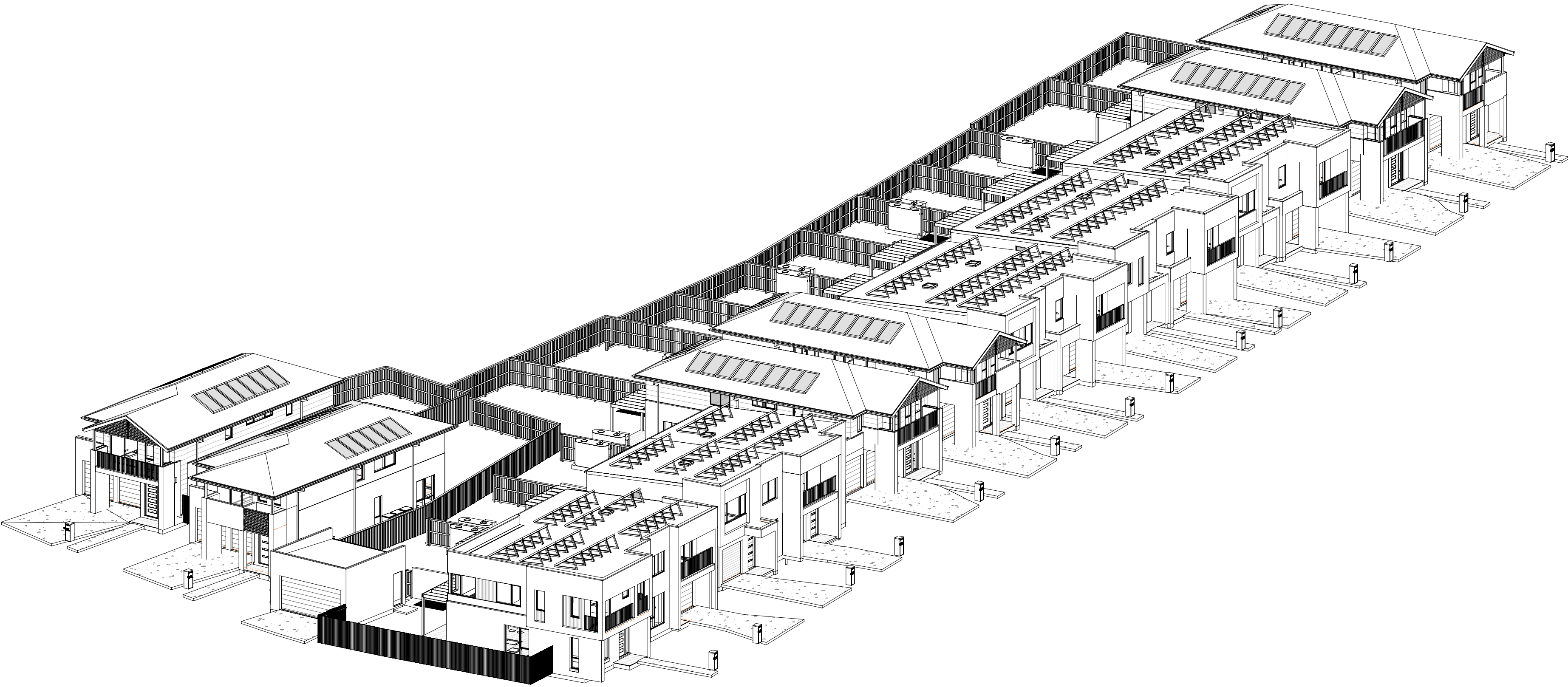
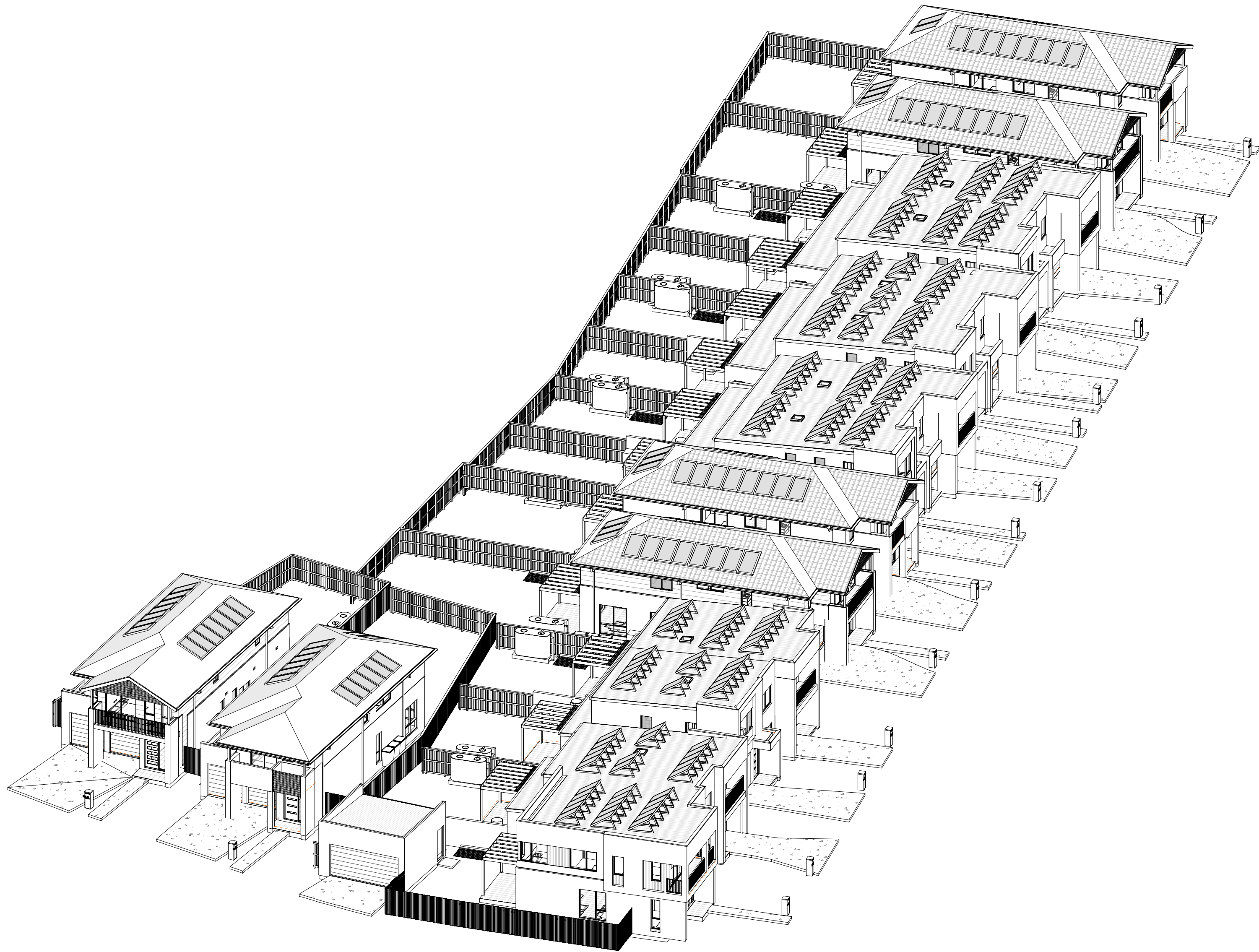
300mm

100mm

200mm


300mm

DCP REQUIREMENT:
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



1 Sun eye view - 21 Jun - 14_00 PM

2 Sun eye view - 21 Jun - 15_00 PM




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Accreditation No.
Property Address

Claude-Francois Sookioli
DMN/14/1662
7A-092, Lot 7A-092 (W56)
Prescot Parade MILPERRA
2214, NSW, 2214



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ISSUE FOR BASK ASSESSMENT

amendment



**MIRVAC
DESIGN**

ARCHITECTS
INTERIORS
LANDSCAPE ARCHITECTS

Level 18, 108 George St
Sydney NSW 2000
T: 02 9466 8800

Mirvac Design Pty Ltd
ABN 76 001 109 111

Mirvac Design Nominees / Responsible Architects:
Asha Verma, Michael Wiener, David Hogg, Andrew La
http://www.mirvacdesign.com/nominees_and_bccs

client



project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
**SUN EYE VIEWS - 21 JUNE - 2pm -
3pm**

job no: MB-10245
drawing no: 413

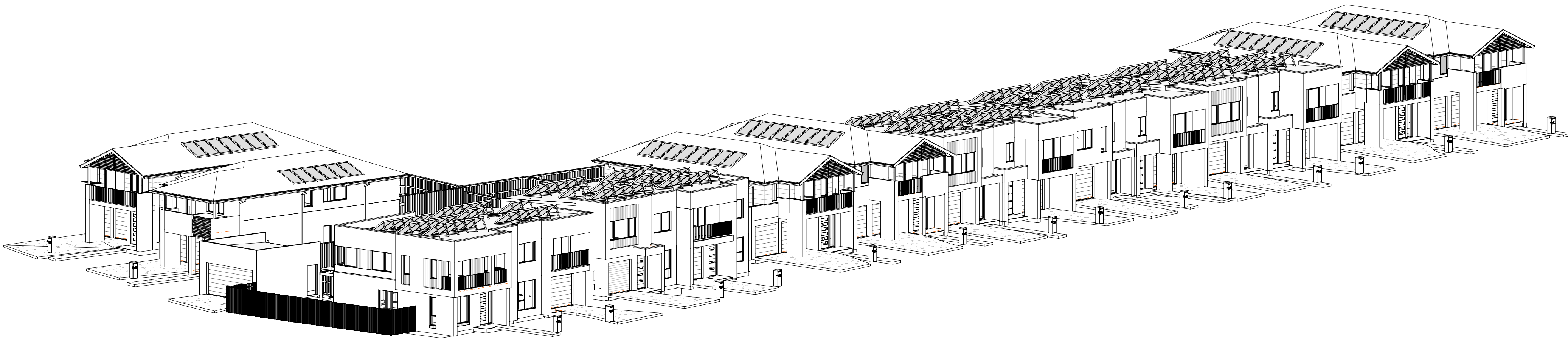
date: 28.02.25

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rev: B

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1 Sun eye view - 21 Jun - 16_00 PM



Certificate No. # 4DJ1Y8PLB8

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Assessor name

Accreditation No.

Property Address

2214, NSW, 2214


Claude-Francois Sookioli

DMN/14/1662

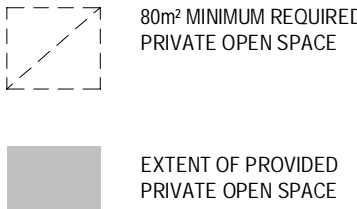
7A-092, Lot 7A-092 (W56)

Prescot Parade MILPERRA

2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PubId=4DJ1Y8PLB8>



Site 7A - FRONT LANDSCAPED AREA SCHEDULE				
ZACW	Frontyard Area	Landscaped Frontyard Area	Landscaped Frontyard (min 45%)	Complies (min 45%)
7A-081	81.33 m²	33.82 m²	41.59%	No
7A-082	79.34 m²	33.65 m²	42.41%	No
7A-091	56.52 m²	30.27 m²	53.56%	Yes
7A-092	61.87 m²	28.27 m²	45.70%	Yes
7A-101	56.51 m²	25.68 m²	45.44%	Yes
7A-102	61.46 m²	28.79 m²	46.84%	Yes
7A-111	55.29 m²	30.31 m²	54.82%	Yes
7A-112	60.59 m²	27.60 m²	45.56%	Yes
7A-121	77.73 m²	35.12 m²	45.19%	Yes
7A-122	78.10 m²	33.59 m²	43.01%	No
7A-131	64.00 m²	44.56 m²	69.63%	Yes
7A-132	68.10 m²	43.64 m²	64.08%	Yes
7A-141	72.61 m²	44.76 m²	61.64%	Yes
7A-142	102.11 m²	81.24 m²	79.56%	Yes
7A-151	86.17 m²	41.26 m²	47.88%	Yes
7A-152	96.13 m²	49.47 m²	51.47%	Yes

Site -7A - LANDSCAPED AREA SCHEDULE					
Lot Number	Lot_Area	Soft Landscape Area	Landscape Area req (min 20%)	Landscaped Area Provided (%)	Complies
7A-081	350.1 m²	164.46 m²	70.02 m²	46.98%	Yes
7A-082	350.7 m²	166.84 m²	70.14 m²	47.57%	Yes
7A-091	256.0 m²	120.25 m²	51.2 m²	46.97%	Yes
7A-092	256.4 m²	113.90 m²	51.28 m²	44.42%	Yes
7A-101	256.1 m²	115.27 m²	51.22 m²	45.01%	Yes
7A-102	256.5 m²	114.96 m²	51.3 m²	44.82%	Yes
7A-111	256.9 m²	122.18 m²	51.38 m²	47.56%	Yes
7A-112	264.7 m²	123.11 m²	52.94 m²	46.51%	Yes
7A-121	378.1 m²	198.69 m²	75.62 m²	52.55%	Yes
7A-122	380.6 m²	198.98 m²	76.12 m²	52.28%	Yes
7A-131	256.8 m²	134.94 m²	51.36 m²	52.55%	Yes
7A-132	256.8 m²	127.55 m²	51.36 m²	49.67%	Yes
7A-141	277.3 m²	140.39 m²	55.46 m²	50.63%	Yes
7A-142	338.3 m²	81.24 m²	67.66 m²	24.01%	Yes
7A-151	383.9 m²	201.54 m²	76.78 m²	52.50%	Yes
7A-152	365.1 m²	179.88 m²	73.02 m²	49.27%	Yes

AREA SCHEDULE - TOTAL POS

Lot No	POS AREA
7A-081	111.9 m²
7A-082	111.1 m²
7A-091	88.4 m²
7A-092	84.7 m²
7A-101	88.9 m²
7A-102	85.1 m²
7A-111	92.0 m²
7A-112	95.8 m²
7A-121	142.2 m²
7A-122	144.0 m²
7A-131	88.2 m²
7A-132	82.2 m²
7A-141	90.7 m²
7A-142	100.2 m²
7A-151	127.8 m²
7A-152	104.8 m²

Certificate No. # 4DJ1Y8PLB8
Scan QR code or follow website link for rating details.

Assessor name: Claude-Francois Sookloll
Accreditation No.: DMN/14/1662
Property Address: 7A-092, Lot 7A-092 (H56)
Prescott Parade MILPERRA,
2214, NSW, 2214

<https://www.fr5.com.au/QRCodeLanding?PublicId=4DJ1Y8PLB8>

100mm

200mm

300mm



0mm | 100mm | 200mm | 300mm

Site 7A - GFA schedule for FSR calc. P1			
Lot No.	Lot_Area	Total Area*	FSR

7A-081	350.1 m²	175.53 m²	50.14%
7A-082	350.7 m²	175.32 m²	49.99%
7A-091	256.0 m²	126.90 m²	49.57%
7A-092	256.4 m²	126.42 m²	49.30%
7A-101	256.1 m²	126.85 m²	49.53%
7A-102	256.5 m²	126.89 m²	49.47%
7A-111	256.9 m²	126.80 m²	49.36%
7A-112	264.7 m²	126.89 m²	47.94%

Site 7A - GFA schedule for FSR calc. P2			
Lot No.	Lot_Area	Total Area*	FSR

7A-121	376.1 m²	175.52 m²	46.67%
7A-122	380.6 m²	175.26 m²	46.05%
7A-131	256.0 m²	127.31 m²	49.73%
7A-132	256.8 m²	127.47 m²	49.64%
7A-141	277.3 m²	137.62 m²	49.63%
7A-142	338.3 m²	146.66 m²	43.35%
7A-151	383.9 m²	175.50 m²	45.72%
7A-152	365.1 m²	175.27 m²	48.01%

Site 7A - GFA schedule for FSR calc.-1		
Lot No.	Name	Area*

7A-081	First Floor	99.03 m²
7A-081	Ground Floor	76.50 m²
		175.53 m²

7A-082	First Floor	98.11 m²
7A-082	Ground Floor	77.22 m²
		175.32 m²

7A-091	First Floor	62.40 m²
7A-091	Ground Floor	64.50 m²
		126.90 m²

7A-092	First Floor	62.39 m²
7A-092	Ground Floor	64.03 m²
		126.42 m²

7A-101	First Floor	62.39 m²
7A-101	Ground Floor	64.46 m²
		126.85 m²

7A-102	First Floor	62.40 m²
7A-102	Ground Floor	64.49 m²
		126.89 m²

7A-111	First Floor	62.31 m²
7A-111	Ground Floor	64.49 m²
		126.80 m²

7A-112	First Floor	62.40 m²
7A-112	Ground Floor	64.49 m²
		126.89 m²

Site 7A - GFA schedule for FSR calc.-2		
Lot No.	Name	Area*

7A-121	First Floor	99.03 m²
7A-121	Ground Floor	76.49 m²
		175.52 m²

7A-122	First Floor	98.11 m²
7A-122	Ground Floor	77.15 m²
		175.26 m²

7A-131	First Floor	62.07 m²
7A-131	Ground Floor	65.24 m²
		127.31 m²


7A-132	First Floor	62.32 m²
7A-132	Ground Floor	65.15 m²
		127.47 m²

7A-141	First Floor	65.92 m²
7A-141	Ground Floor	71.70 m²
		137.62 m²

7A-142	First Floor	70.80 m²
7A-142	Ground Floor	75.86 m²
		146.66 m²

7A-151	First Floor	99.02 m²
7A-151	Ground Floor	76.48 m²
		175.50 m²

7A-152	First Floor	98.10 m²
7A-152	Ground Floor	77.17 m²
		175.27 m²



Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address


Claude-Francois Sookioli

DMN/14/1662

7A-092, Lot 7A-092 (#68)

Prescot Parade MILPERRA,

2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PublicId=4DJ1Y8PLB8>

1 FSR / GFA GROUND FLOOR PLAN

28.02.25
31.01.25
date

B
A
rev

ISSUE FOR DA SUBMISSION
ISSUE FOR BASIX ASSESSMENT

amendment

MIRVAC DESIGN
Level 14, 108 George St
Sydney NSW 2000
T: 02 9460 8800
Mirvac Design Pty Ltd
ABN 76 001 199 113
Mirvac Design Nominees / Responsible Architects:
Aislinn Venn, Michael Weller, David Hogg, Andrew La
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client
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 7A

title:
FSR / GFA AREA PLANS GROUND FLOOR

job no: MB-10245
drawing no: 430

date: 28.02.25

scale @ A1: 1 : 200

rev: B

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NOTE:

- AREAS INCLUDED ON FSR CALCULATIONS IS SHOWN AS GREY SHADING ON SHEET FSR / GFA AREA PLANS

NOTE:

• AREAS INCLUDED ON FSR CALCULATIONS IS SHOWN AS GREY SHADING ON SHEET FSR / GFA AREA PLANS

Site 7A - GFA schedule for FSR calc. P1			
Lot No.	Lot_Area	Total Area*	FSR
7A-081	350.1 m²	175.53 m²	50.14%
7A-082	350.7 m²	175.32 m²	49.99%
7A-091	256.0 m²	126.90 m²	49.57%
7A-092	256.4 m²	126.42 m²	49.30%
7A-101	256.1 m²	126.85 m²	49.53%
7A-102	256.5 m²	126.89 m²	49.47%
7A-111	256.9 m²	126.80 m²	49.36%
7A-112	264.7 m²	126.89 m²	47.94%

Site 7A - GFA schedule for FSR calc. P2			
Lot No.	Lot_Area	Total Area*	FSR
7A-121	376.1 m²	175.52 m²	46.67%
7A-122	380.6 m²	175.26 m²	46.05%
7A-131	256.0 m²	127.31 m²	49.73%
7A-132	256.8 m²	127.47 m²	49.64%
7A-141	277.3 m²	137.62 m²	49.63%
7A-142	338.3 m²	146.66 m²	43.35%
7A-151	383.9 m²	175.50 m²	45.72%
7A-152	365.1 m²	175.27 m²	48.01%

Site 7A - GFA schedule for FSR calc.-1		
Lot No.	Name	Area*

7A-081	First Floor	99.03 m²
7A-081	Ground Floor	76.50 m²
		175.53 m²

7A-082	First Floor	98.11 m²
7A-082	Ground Floor	77.22 m²
		175.32 m²

7A-091	First Floor	62.40 m²
7A-091	Ground Floor	64.50 m²
		126.90 m²

7A-092	First Floor	62.39 m²
7A-092	Ground Floor	64.03 m²
		126.42 m²

7A-101	First Floor	62.39 m²
7A-101	Ground Floor	64.46 m²
		126.85 m²

7A-102	First Floor	62.40 m²
7A-102	Ground Floor	64.49 m²
		126.89 m²

7A-111	First Floor	62.31 m²
7A-111	Ground Floor	64.49 m²
		126.80 m²

7A-112	First Floor	62.40 m²
7A-112	Ground Floor	64.49 m²
		126.89 m²

Site 7A - GFA schedule for FSR calc.-2		
Lot No.	Name	Area*

7A-121	First Floor	99.03 m²
7A-121	Ground Floor	76.49 m²
		175.52 m²

7A-122	First Floor	98.11 m²
7A-122	Ground Floor	77.15 m²
		175.26 m²

7A-131	First Floor	62.07 m²
7A-131	Ground Floor	65.24 m²
		127.31 m²

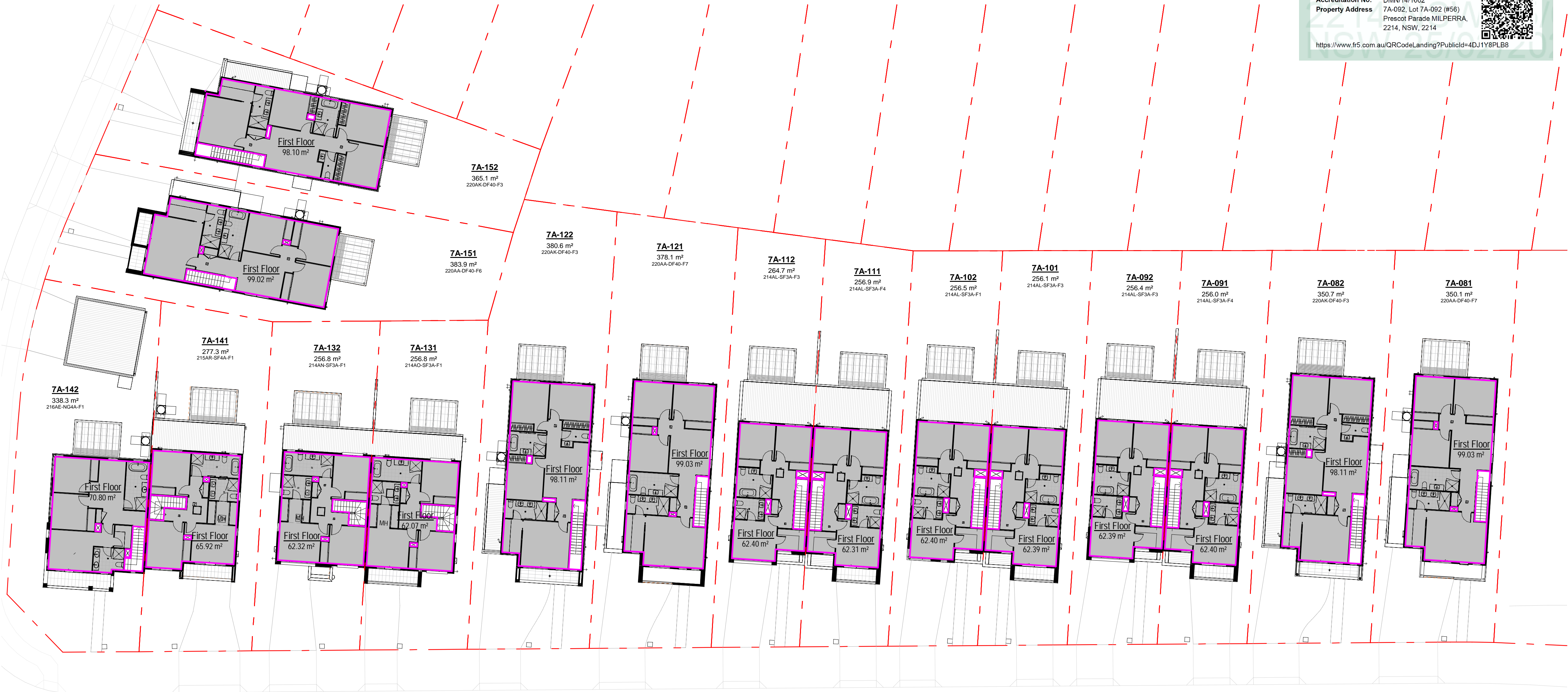
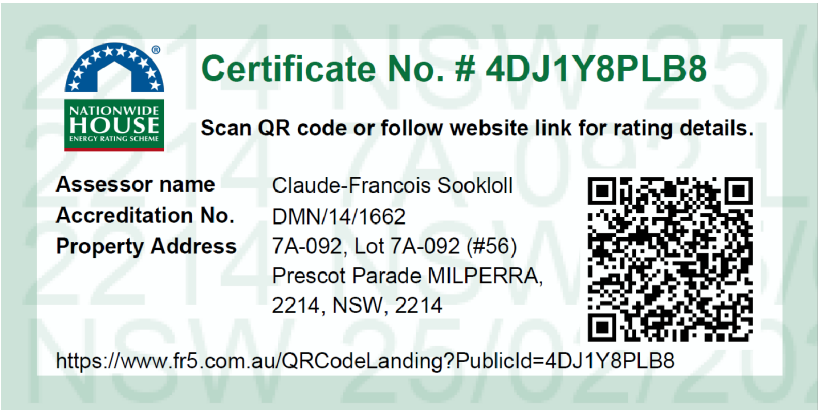
7A-132	First Floor	62.32 m²
7A-132	Ground Floor	65.15 m²
		127.47 m²

7A-141	First Floor	65.92 m²
7A-141	Ground Floor	71.70 m²
		137.62 m²

7A-142	First Floor	70.80 m²
7A-142	Ground Floor	75.86 m²
		146.66 m²

7A-151	First Floor	99.02 m²
7A-151	Ground Floor	76.48 m²
		175.50 m²

7A-152	First Floor	98.10 m²
7A-152	Ground Floor	77.17 m²
		175.27 m²




1 FSR / GFA FIRST FLOOR PLAN

300mm


Mirac Des
Anita Venn
<https://www>

[illegible]



Certificate No. # 4DJ1Y8PLB8

Scan QR code or follow website link for rating details.

Assessor name Accreditation No. Property Address	Claude-Francois Sookliol DMN/14/1662 74-092, Lot 74-092 (#56) Prescott Parade MILPERRA, 2214, NSW, 2214	
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<https://www.rf5.com.au/QRcodeLanding?PublicId=4DJ1Y8PLB8>

B A	ISSUE FOR DA SUBMISSION ISSUE FOR BASIX ASSESSMENT	amendment
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**MIRVAC
DESIGN**

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urban design
interior design
graphic design

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client:


mirvac

project:
RIVERLANDS - MILPERRA
56 Prescott Parade, Milperra NSW 2214
stage: 01
site: 7A

title: **BASIX REQUIREMENTS**

job no: MB-10245
drawing no: 721
date: 28.02.25
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